



**BROWNSVILLE AND HAYWOOD COUNTY**

# **INTERIM DEVELOPMENT AND DESIGN GUIDELINES**

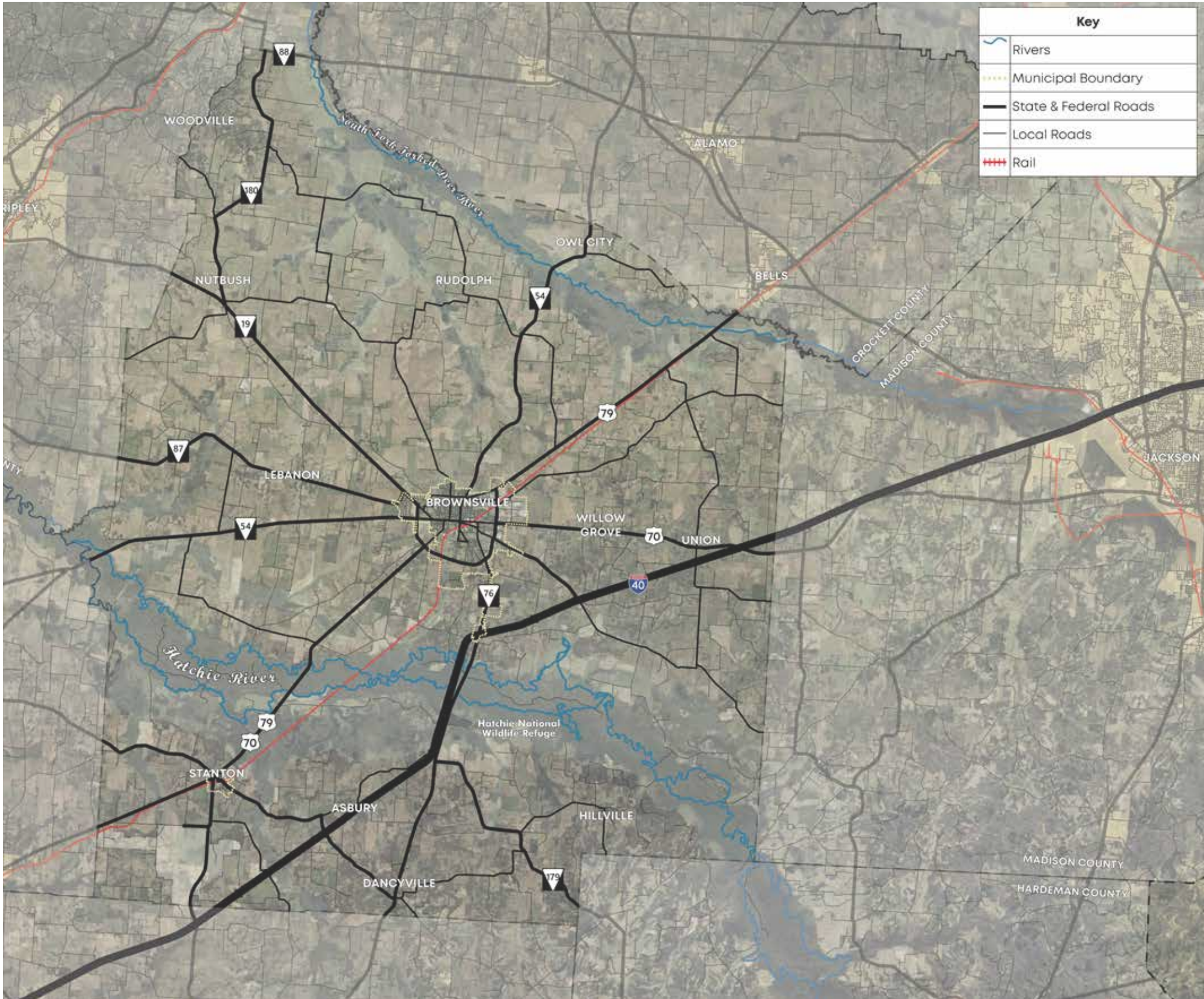
October 18, 2022

# TABLE OF CONTENTS

- INTRODUCTION, PURPOSE AND PROCESS** **3**
- PUBLIC ENGAGEMENT 4
- PROTECT AND GROW 7
- HOW TO USE THIS DOCUMENT 8
- DESIGN GUIDELINE** **9**
- COUNTRYSIDE** **9**
- NATURAL ENVIRONMENT 10
- FARMLAND 11
- RESIDENTIAL 12
- SCENIC ROAD 14
- FOUR-WAY 16
- COMMUNITY** **21**
- RESIDENTIAL AND ARCHITECTURAL DETAILING 22
- COMMERCIAL 28
- MULTIFAMILY 32
- INDUSTRIAL 34
- DEVELOPMENT STANDARDS 35
- TOWN AND CITY** **37**
- GATEWAYS AND CORRIDORS 38
- DISTRICTS 40
- NEIGHBORHOODS 41
- INFILL 42
- TOWN CENTER / COURTHOUSE SQUARE 43
- LIGHT INDUSTRIAL / MAKER SPACES 44
- GENERAL PARKING STANDARDS 45
- IMPLEMENTATION AND APPLICATION** **46**
- SUMMARY** **47**
- APPENDIX** **49**



# INTRODUCTION, PURPOSE, AND PROCESS



The Industrial Development Board of the City of Brownsville and Haywood County Tennessee, the City of Brownsville, and Haywood County engaged LRK to develop Interim Development and Design Guidelines (IDDG) to help inform future growth and change in Haywood County. LRK assisted the Joint Economic Community Development Board (JECDB) in leading a public engagement process to define Haywood County's Vision and Goals which provide the foundation and framework for the document.

The IDDG serves as a guide for public officials, residents, builders, architects, designers, and property owners to inform the preferred character and qualities of future development in Haywood County. As a guide, the document serves to illustrate recommended locations and patterns of development as well as the character of new investment throughout Haywood County. The interim nature of this document enables its ability to inform development and change in the near-term while being subject to a process of review and revision going forward. The intent is for these guidelines to become a "living document" modified over time to stay current with the needs of the community.

As a publicly informed guideline document, the information contained herein is meant to encourage improved outcomes that are defined by lasting value for existing and future residents and property owners. The balanced approach defined by the guidelines will better ensure that residents, businesses and property owners are able to share in benefits of investment in the community and that resulting change brings lasting value while remaining authentic to Haywood County.

# PUBLIC ENGAGEMENT

The Interim Development and Design Guidelines (IDDG) are based upon community input gathered during a series of public engagement opportunities. With support from the Joint Economic and Community Development Board (JECDB) serving as the IDDG Steering Committee, Haywood County residents, business owners, and elected officials came together for four Listening Sessions and one Work Session in the months of July and August 2022.

## LISTENING SESSIONS

Community members from across Haywood County engaged in four Listening Sessions located in South Haywood, North Haywood, and in Brownsville in July and August of 2022. The sessions were well attended with approximately 300 individuals participating in conversations about Haywood County and the qualities they most want to preserve and enhance. Each session began with an introductory presentation before gathering in small groups to consider and respond to several questions:

### Breakout Discussion #1 – Where are we today?

- What do we cherish about the community today?
- What are the things we would like to improve or may be missing?
- What are the opportunities and threats with change coming to our community?

### Breakout Discussion #2 – Where do we want to be in 10 years?

- How can the qualities we cherish be protected and maintained for future generations?
- What are the areas where growth and change should occur and where is it less appropriate?
- What does the “Greetings from Haywood County” postcard look like in 2032?

Feedback and summaries of the conversation associated with each question and topic were documented by members of the JECDB and the project team through various media provided including large note pads, maps of Haywood County, and individual post-it notes. As each group completed their discussion, participants were encouraged to read and comment on the summaries from prior conversations and provide additional feedback to a project specific email address. A summary of public feedback along with meeting materials may be found in the Appendix.





*Respect  
our past,  
love our  
future”*

## COMMUNITY VISION SURVEY

A visually-based Community Vision Survey was designed to identify citizen preferences regarding character of landscapes, streetscapes, new development, and infill development in Haywood County. The Community Vision Survey was developed to supplement and provide insight into issues identified by the Steering Committee as well as based on public input from the Community Listening Sessions.

The survey was composed of a series of questions incorporating precedent imagery from around the region and arranged into several basic contextual categories and topics ranging from the “countryside” to “community” to “town/city”. Thirty-two images were arranged in nine sets of questions:

The Countryside/Rural context questions addressed:

- Scenic rural roads
- Countryside roads

The Community context questions addressed:

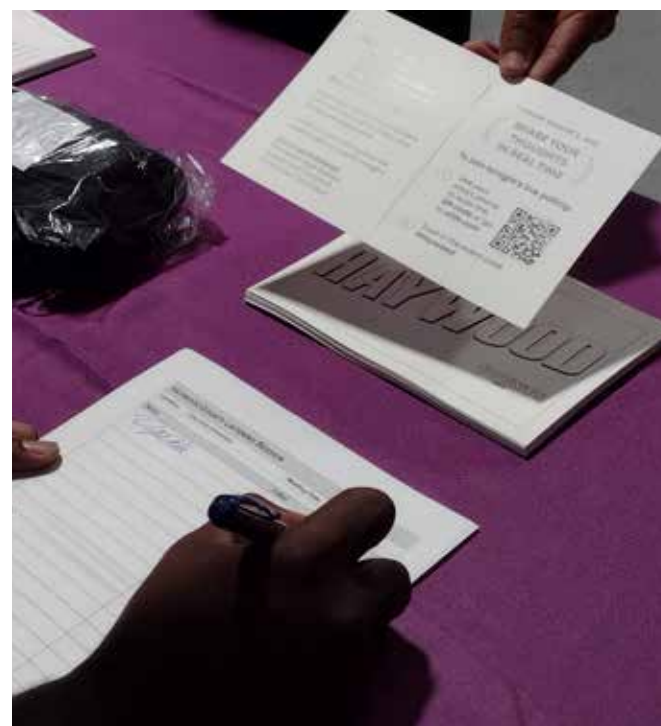
- Four-Ways
- Retail and commercial development
- Residential development
- Multi-family development
- Stormwater facilities

The Town/City context questions addressed:

- Town Center development
- Infill development



The Vision Survey was presented at the Haywood County Work Session conducted on August 2, 2022. The survey utilized a series of two to four images for each question that were presented via software accessible from smart phones or tablets and simultaneously presented on large screens in the room. This methodology allows a multiple-choice question scenario where a respondent could answer the question by selecting one of the images or “None”. Respondents were asked to choose the image which best represented their vision and the character of the subject improvement. Survey results for each question were tabulated and shared before asking a few audience members to share why they selected specific images. The results of the Community Vision Survey are located in the Appendix.



# PUBLIC ENGAGEMENT

The Listening Sessions in July and August were well attended with participants eager to share their hopes, concerns, and experiences. Individual Steering Committee members are commended for their preparation, support and participation leading up to and throughout the public engagement process.

Participants expressed a great deal of appreciation for Haywood County and its many varied attributes. A common theme among participants defined Haywood County as being composed of neighborhoods and communities that while diverse in their size, location and population, are united by shared core characteristics and values. Some of the valued community features and characteristics repeatedly mentioned include the unspoiled nature of the Hatchie River, the area's robust agricultural activity, ease of connecting across the community, tight knit social networks and familiarity, and communities composed of good neighbors.

Participants noted concern regarding a lack of perceived preparedness in the face of rapid economic change. As depicted in the images to the right, sprawl, loss of farmland, and character that does not reflect the community's vision were frequently mentioned threats. Issues regarding the potential negative impact resulting from inflated property and home values, traffic congestion, and fraying of tightly-knit community bonds were voiced. In addition, feedback depicted a desire to improve the quality of life for existing and future residents as a means to achieve several larger goals including the ability to attract and retain younger generations.

General feedback and observations noted interest in investment occurring in a way that improves the opportunity to educate and raise children who will cherish and engage Haywood County for the future. Participants found common ground in their appreciation for the community and a desire to achieve improved outcomes in the future. The mood and comments expressed by attendees were remarkably upbeat and generally optimistic.

Similar values and goals were heard in the Listening Sessions throughout Haywood County such as:

- **Close-Knit Community**
- **Community is "pro-kids"**
- **Small-town Character**
- **Cherish the variety in Landscape and Place**
- **Change should be Authentic to Haywood County**

An overarching theme was a preference for a balanced approach to change and investment between existing communities and neighborhoods, and new investment beyond the edge of existing communities.



The image above depicts an existing community subject to rapid development occurring over a span of 25 years. Residents identified the lack of connectivity between nearby homes, the disregard and loss of the area's natural landscape and farmland, a lack of parks and open spaces, and a general lack of investment in the community's existing center as being inappropriate in Haywood County.



The image above depicts homes lining a road in a way that does little to enhance or preserve the surrounding rural character. This image was the least preferred for countryside roads in the Community Vision Survey.



The design and landscape of the stormwater pond in this image was not implemented in a way that enables it to serve as a more natural feature or amenity.



The image above depicts a poorly designed streetscape defined by the excessively long uninterrupted block length, a lack of street trees and pedestrian scaled lighting, poorly located and unscreened utility equipment, and homes that are set on grade and lack meaningful engagement with the street the Community Vision Survey.

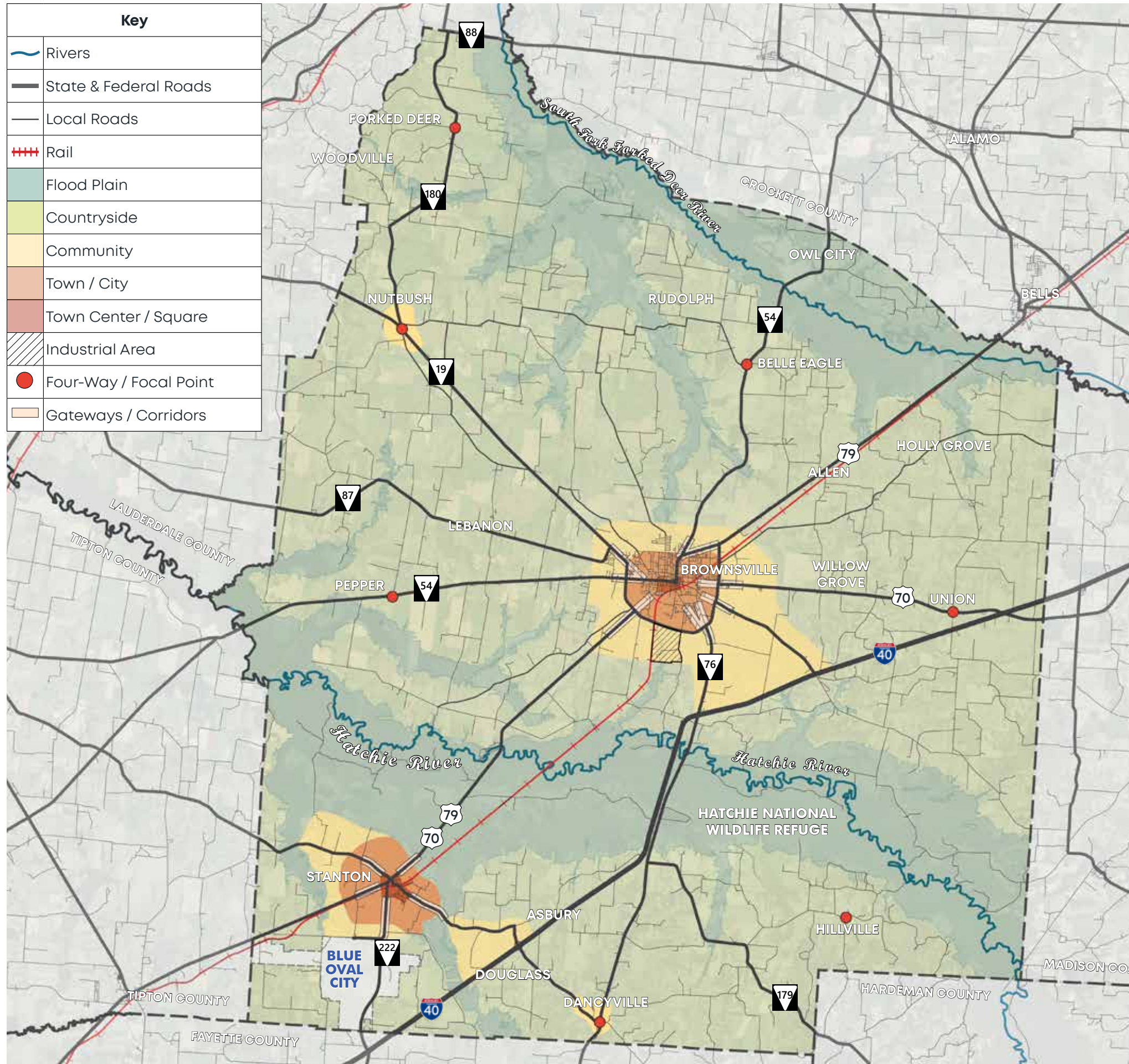


The inappropriate architectural details, massing, use of materials, and poor ground floor transparency result in the inappropriate multi-family building above.



This strip center lacks architectural character, a defined pedestrian realm, and landscaping. This image was the least preferred for Four-Ways in the Community Vision Survey.

# PROTECT AND GROW



In addition to feedback throughout the Listening Sessions, participants were encouraged to highlight and better define areas where change would be most appropriate in Haywood County as part of the Work Session conducted on August 2, 2022. Conversations were framed around the nature and intensity of change and investment as well as defining those areas that should be protected for future generations. The results of these conversations are depicted in the Protect and Grow map as well as the Place Types around which this document is organized.

**Town Center / Courthouse Square** — The cores of Brownsville and Stanton were highlighted throughout the Listening Sessions and the Work Session as centers for investment. These locations serve as focal points for reinvestment both within the Town Center and adjacent properties surrounding the cores. Investment in the Town Centers may include new infill, reinvestment in existing properties, streetscape improvements, and improvement of the public realm to elevate these areas into robust Town Centers and generally reflect the most intense level of investment envisioned by the community.

**Town / City** — Participants defined areas surrounding the historic cores of Brownsville and Stanton as being able to accommodate new investment and development within the context of existing neighborhoods. Reinvestment and change in these areas should incorporate and reflect surrounding scale and development where appropriate and enable change that reflects the community's goals and vision. Gateway/Corridors reflect a preferred elevated approach to the character of private and public improvements along key routes into the Town Centers.

**Community** — This Place Type transitions from the intensity of the Town Center and Town/City to the Countryside and focuses on predominantly greenfield development. Within this area, development and change may occur at a variety of scales and intensity. As participants expressed a clear preference for a balanced approach to development across Haywood County, public and private investment within this area should be viewed in concert with activity occurring within the Town Center/Infill and Town/City areas.

**Four-Way** — A Four-Way serves as a focus for development typically occurring at otherwise rural intersections with density and a variety of public and private uses that serve the surrounding countryside and community. The locations shown refer to existing and potential new Four-Ways as identified by residents. The locations shown are not exhaustive and may be expanded over time.

**Countryside** — This Place Type describes some of Haywood County's most iconic landscapes, productive farmland, environmentally sensitive areas, and locations well beyond existing urban services. The preferred approach is to accommodate change while ensuring the scale and nature of investment does not erode or degrade the rural character of the area and the critical economic and cultural contributions it provides to the community.

# HOW TO USE THIS DOCUMENT

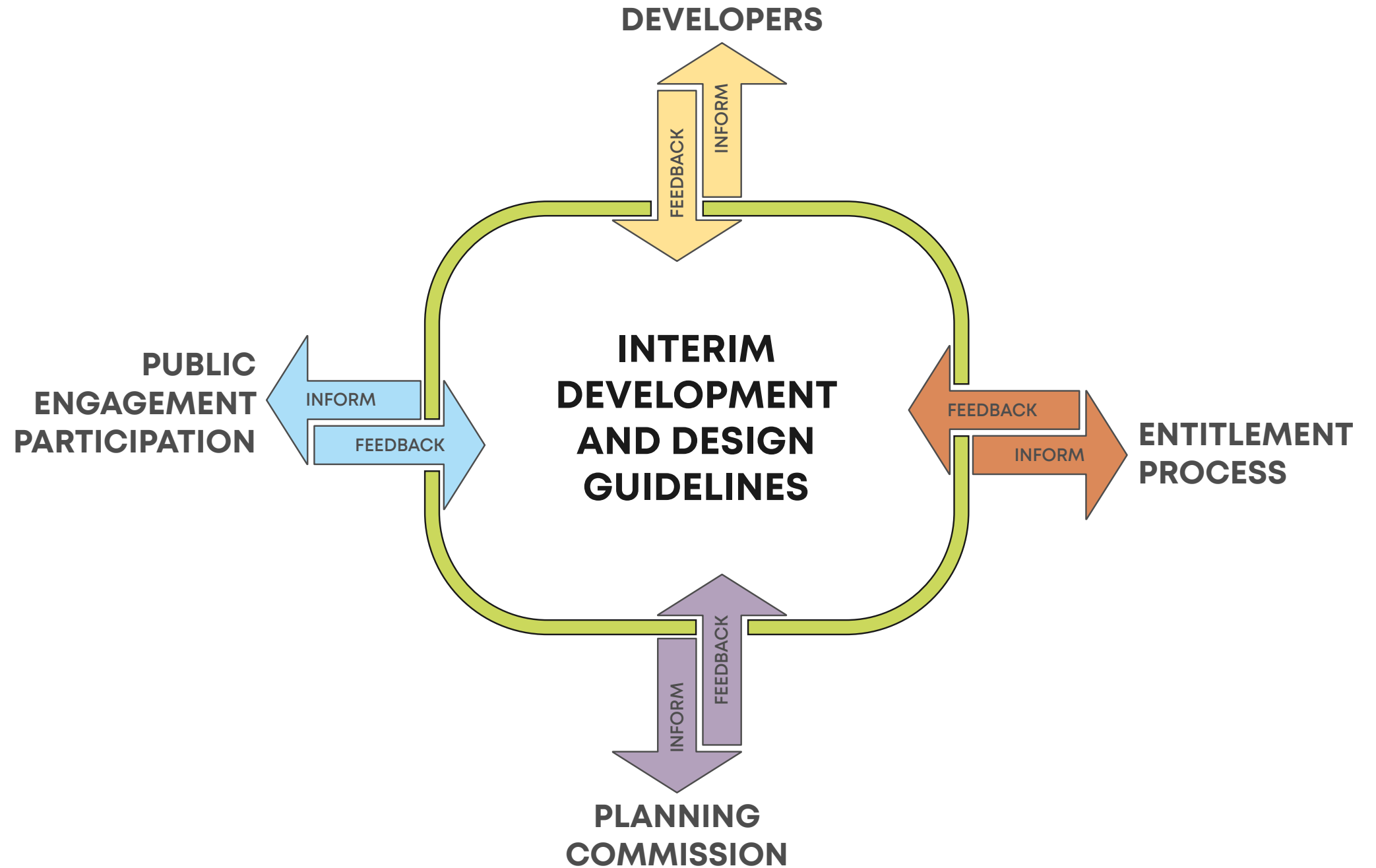
The primary intent and purpose of the Interim Development and Design Guidelines (IDDG) is to serve as a guide and valuable tool to help inform the character and pattern of development within Haywood County. As such, a wide variety of individuals and parties are encouraged to utilize this resource to better understand the preferred vision for public and private investment.

As a resource, the IDDG will also be utilized by the community to guide public and private policy, and decision making pertaining to future growth and development in Haywood County. To achieve this objective requires application of the IDDG within the framework of land-use considerations. Where land-use decisions are concerned, local boards and bodies shall consider whether applications, proposed development and policy changes are consistent with the preferences, recommendations and guidelines contained in this document.

While the IDDG may be used as a guide to decision making, it does not in anyway supplant, replace or negate existing ordinances, subdivision and development regulations, or locally adopted building codes and regulations. In addition, the IDDG does not supplant the approval criteria required by existing land-use regulations.

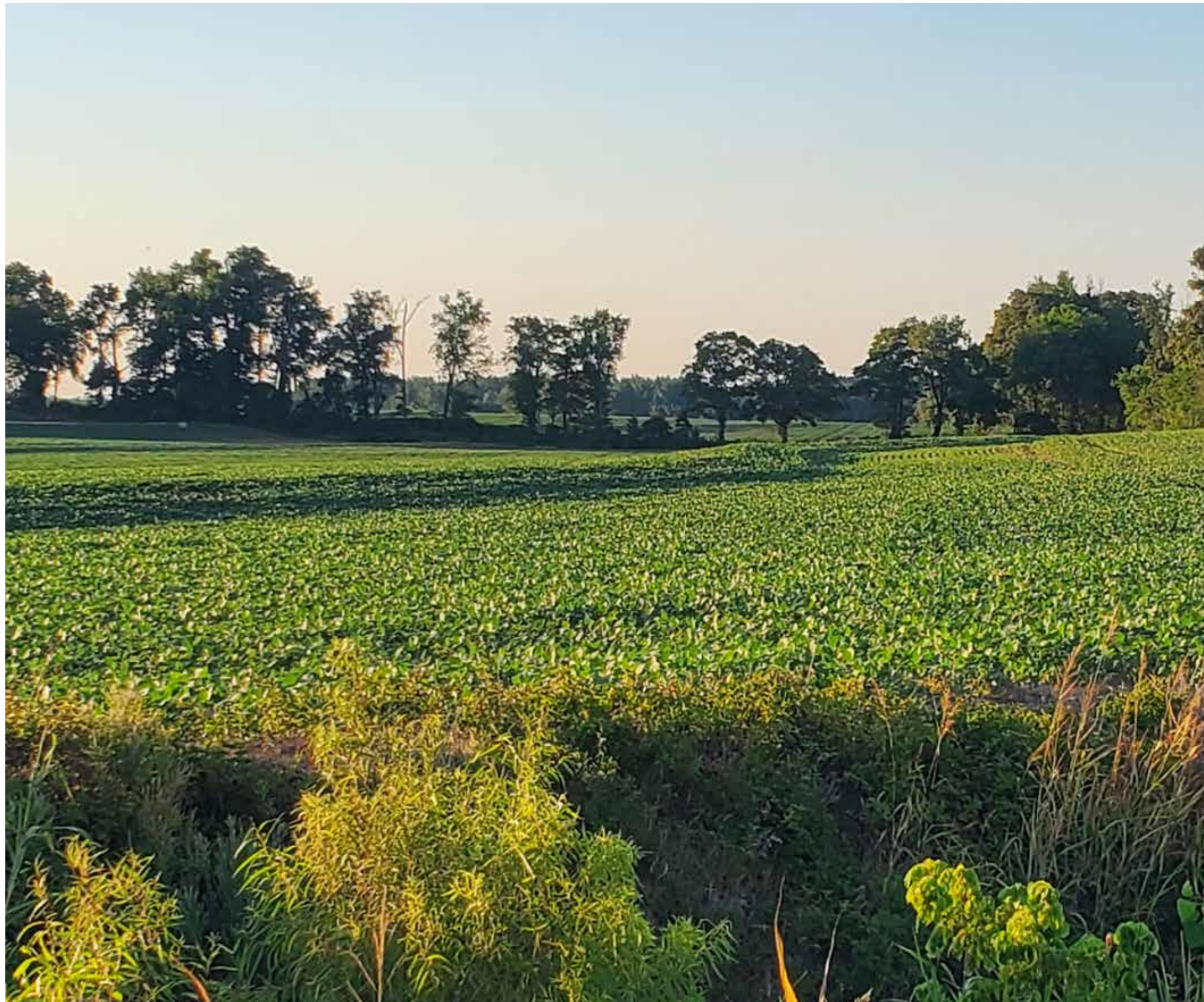
Design review of the subject application pursuant to these guidelines will be conducted by planning staff during the relevant applicable review process in order to create a staff report that summarizes the application's scope, issues, and potential conditions of approval. To that end, staff findings regarding consistency with the guidelines will be contained and summarized and identified separately within the staff report. Applications are typically reviewed by staff members advance of placement on a public meeting agenda, and design review occurs during that process.

While this document provides publicly informed guidance regarding the character and qualities of development, it is not meant to stifle design innovation in Haywood County. Applications for buildings, homes, and development patterns of nonconforming character and design will be considered on outstanding design merit and on an individual building/site specific condition(s). An approved nonconforming design cannot establish precedent for other buildings and site conditions.





# COUNTRYSIDE



Countryside is defined by abundant farmland, untouched rivers and woodlands, and tight-knit rural communities. Together, these form an important component of Haywood County's culture and one which residents hope to nurture and enhance for future generations.

NATURAL ENVIRONMENT	10
FARMLAND	11
RESIDENTIAL	12
SCENIC ROAD	14
FOUR-WAY	16

# NATURAL ENVIRONMENT

The agricultural lands, surrounding natural environment and the ability to easily enjoy open spaces, forests, creeks and rivers help define Haywood County's rural character and culture. The protection of Haywood County's natural areas, floodplains, drainage systems, and underlying water table is a key desire of the community both to safeguard the environment and maintain the character of the county at large.

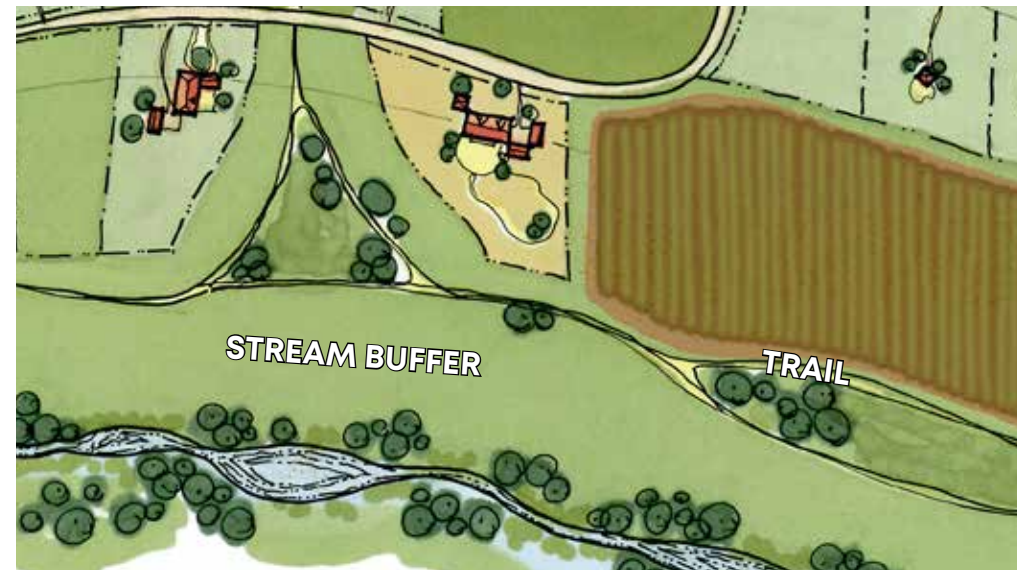
In existing natural areas there should be a balance between access, protection and maintenance of sensitive lands in the natural environment. Preservation of the most critical and sensitive areas will continue to be a priority while passive approaches such as appropriate buffers around natural resources will also play an important role. Improvements such as trailheads and multi-use trails are encouraged (where appropriate) as a means of creating a county-wide system of greenways to better protect and enhance the enjoyment of these natural resources. Where improvements are implemented within conservation and buffer areas, removal of invasive species is highly encouraged.

Existing park and natural areas, such as the Hatchie River and South Fork of the Forked Deer, shall be maintained and protected as a destination for residents and visitors. The Hatchie River in particular is a critical natural feature running through the county and shall be protected and buffered from development.

Protecting sensitive lands including those that may impact aquifers, rivers, and floodplains that improves resiliency to extreme weather events should be a priority and development within existing floodplains should be avoided. Environmentally friendly and forward looking development should be encouraged, where possible.



Preserve buffers along rivers, lakes, wetlands and natural preservation areas.



## NATURAL ENVIRONMENT PRESERVATION STRATEGIES

### FUNDING

Identify priority areas in need of funding, how funding is best utilized, and how to best distribute federal, state and local funds.

Explore feasibility of working with the U.S. Fish and Wildlife Service to expand the Hatchie National Wildlife Refuge.

Identify Funding Partners and means of providing local matching funds where applicable.

Reevaluate funding process every 2 years.

### LAND TRUST

A land trust is a legal entity that takes ownership of, or authority over, a piece of property at the request of the property owner. Land trusts are living trusts that allow for the management of property while the owner is alive. However, like other types of trusts, each land trust's terms are unique and can be tailored to individual needs.

Identify appropriate resources, natural areas, and land for land trusts.

Identify potential regional, state and federal partners and programs including (but not limited to) the United States Department of Agriculture, Tennessee Department of Forestry, The Tennessee chapter of the Nature Conservancy, and the Tennessee Forest Legacy Program, and Wetlands Reserve Easements.

Advise and consider assisting interested property owners in developing detailed property specific forest and land management plans.

Determine appropriate strategy for protecting land; conservation easement, land acquisitions, stewardship, etc.

Reevaluate land trust areas and new places for inclusion every 5 years.

### NATURAL PRESERVATION INCENTIVE

Identify potential partners and programs including (but not limited to) the Wetlands Reserve Program, the Farmable Wetlands Program (FWP), the Farm Wildlife Habitat Program, Tennessee Partners Project, and Wetlands Reserve Easements.

Identify priority areas for natural preservation and reevaluate natural preservation incentives every 2 years.

### ENGAGE AND MAINTAIN

Provide public access via property transfer or easements for and to greenways or public waterways and secure funds for future maintenance of natural resources.

Incorporate environmental and biodiversity studies, with a focus on regional resources, within primary education curriculum.

### BUFFERS

Maintain a 50 ft. buffer as measured from the top of bank of designated rivers, streams and bodies of water, as well as at edges of defined wetlands.

Development shall seek to preserve contiguous wooded areas populated by native specimen trees and consisting of 1/2-acre or more in coverage. Development shall incorporate a 30 ft. setback from such tree preserves.

### TREE CANOPY PRESERVATION

Where contiguous wooded areas populated by native specimen trees and consisting of 1/2-acre or more in coverage are removed in relation to non-agricultural or timber harvesting uses, one new tree must be planted for every 3 specimen trees of 2" or greater caliper which are removed. As an alternate means of compliance, it is recommended that a Tree Bank be established in order that the applicant may contribute to the Haywood County Tree Bank in lieu of on-site replacement. Refer to Brownsville Code of Ordinance Chapter 10 for appropriate species.

# FARMLAND

## FARMLAND PRESERVATION STRATEGIES

### FUNDING

Identify priority areas in need of funding, how funding is best utilized, and how to best distribute county-wide funds.

Identify funding partners such as the United States Department of Agriculture and the Tennessee Department of Agriculture, and related programs such as the Conservation Stewardship Program; Tennessee Agricultural Tax Exemption and Relief Programs, and the Tennessee Agricultural Enhancement Program

Identify Funding Partners and means of providing local matching funds where applicable.

Reevaluate funding process every 2 years.

### LAND TRUST

Identify appropriate resources, areas, and farmland for land trusts.

Identify potential regional, state and federal partners and programs including the American Farmland Trust, and The Land Trust for Tennessee.

Determine appropriate strategy for protecting land; partnerships, conservation easement, land acquisitions, stewardship, etc.

Reevaluate land trust areas and new places for inclusion every 5 years.

### FARMLAND PRESERVATION INCENTIVE

Determine incentive bounds and caps.

Identify priority areas for farmland preservation. Reevaluate natural preservation incentives every 2 years.

Provide development and density incentives for alternative development patterns that preserve working farmland. See diagram below.

### ENGAGE AND MAINTAIN

Provide safe public access through greenways and secure funds for future maintenance.

Evaluate the quality and location of the County's farmland. Consider preservation and conservation measures for high-quality farmland under greatest threat in order to preserve and maintain Haywood County's rural character.



Figure 1

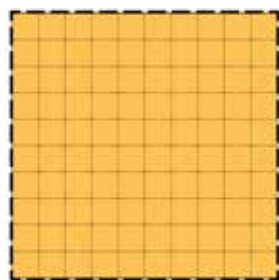


Figure 2

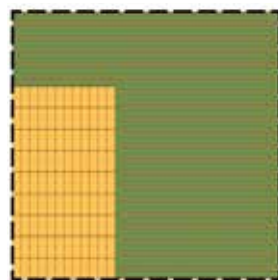


Figure 3

Figure 1 depicts a working farm of 100 acres pre-development. Current FAR zoning allows for 1 acre lots, 100 of which are depicted in Figure 2, replacing all working farmland with residential development. Figure 3 displays an alternative development pattern of 100 homes on 1/4 acre lots that preserves working farmland.

## RECOMMENDED ALTERNATIVE DEVELOPMENT PATTERNS

Haywood County, being conducive to row crop farming, is home to some of West Tennessee's most productive farmland. Farming contributes greatly to the local economy and assists with providing pleasing natural aesthetics. Residents voiced strong support for enabling this activity to continue for future generations. Current FAR zoning allows for one acre lots county-wide. When applied over large areas, the resulting development pattern would be detrimental to existing farmland and the ability to sustain agricultural practices in nearby areas.

Alternative development patterns are encouraged in order to allow for property owners to benefit from new development and investment while striving to maintain working farmland and Haywood County's agricultural heritage.

- Development within FAR zoning should strive to preserve views of farmland and adopt a 'cluster' pattern of development that enhances a sense of community.
- Development along existing rural roads should maintain a natural or open space buffer along the road.
- New homes consisting of farmsteads five acres or more in size offer an alternative, transitional development pattern between large scale farms and more dense development found in Community Place Type areas.



New homes may be seamlessly knit into farms.

As a means to enable new development while enhancing the conservation and support of surrounding farmland and ranches, proposed development may assume a density of 4-6 homes (residential units) per acre assuming that:

- The resulting development footprint area utilizes not more than 25% of the original tract.
- The resulting development consists of not more than the number of homes that could reasonably be permitted in a development pattern consisting of one acre lots.
- The remaining property is placed in an agricultural, forestry, conservation or similar easement.
- Should an application of exceptional design and quality be considered, the recommended usable open space (page 23) may be reduced by up to 50%.
- Up to 25% of the space dedicated to stormwater facilities may contribute to the acreage dedicated to usable open space dependent on design of the character and quality of the stormwater facility.



# RESIDENTIAL

A balanced approach to development and investment recognizes the desire by some existing and future residents to live in more rural settings that are close to both farm and nature. Rather than preclude such options, preferred alternative development patterns are recommended that preserve cherished natural features, work with the existing terrain, enable the conservation of working farmland and do not subdivide the countryside into large areas of one acre lots. Where areas of critical or threatened farmland and natural areas are identified, additional emphasis on neighborhood and development design that exemplifies a conservation approach is recommended.

Conservation area standards should include requirements related to the quantity of conserved land, the quality (natural resource or farmland), as well as the configuration of the proposed homes and streets with respect to the conserved land.

Where visible from the primary road, homes and their primary entrance should address the street, with garages and carports set back from the primary facade of the home. For additional recommended neighborhood, lot layout and home design considerations (where applicable), see pages 25-27.

For additional information on Conservation Subdivisions and Open Space Networks, please refer to "Conservation Design for Subdivisions, A Practical Guide to Creating Open Space Networks" by Randall G. Arendt.

## EXAMPLE OF EXISTING PATTERN



This pattern does not preserve or define a buffer along the primary road or design with the natural features of the site (stream).

## ALTERNATIVE PATTERN



Clustered developments should maintain the scenic buffer zone and natural environment as depicted above. This cluster incorporates a neighborhood green that serves as an amenity for residents.

## ALTERNATIVE PATTERN



Preserving open space and "places of the heart" - clustered homes address and preserve the natural areas around them while creating a definite edge between the natural and developed land. Such clusters create a sense of community centered upon these natural features or farmland.

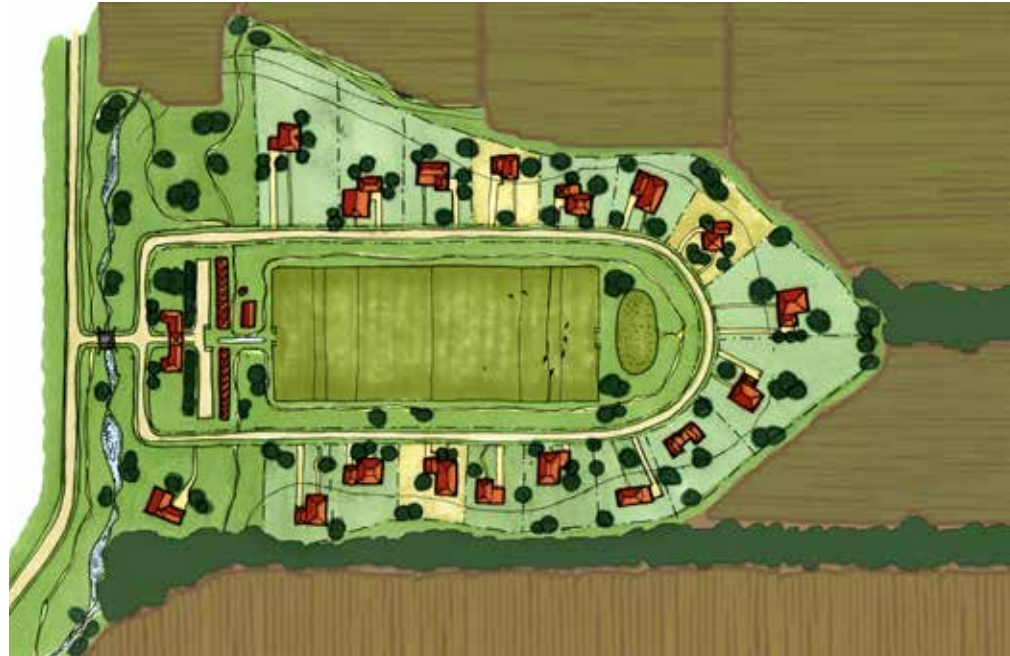


Residential neighborhood that seeks to preserve natural features, and specimen trees while creating a walkable community for residents. Homes address the street and lighting is scaled for vehicles and pedestrians in a rural setting.



Residential neighborhood with preserved and enhanced stream which also provides valuable stormwater storage after intense rainfall.

ALTERNATIVE PATTERN



Clustered developments should maintain the scenic buffer zone as depicted above. In addition, the incorporation of a central public green space that could serve as a public park or sports field, location for school, or fire station, supports reduced lot sizes for the surrounding homes.

ALTERNATIVE PATTERN



Develop with an awareness and goal of preserving scenic viewsheds along the main highway and incorporate the rolling terrain and features such as tree stands. Note, the neighborhood incorporates a usable open green space for community engagement.

ALTERNATIVE PATTERN



A diverse mix of home types provides more density to the clustered community without encroaching on the natural features is highly desirable. Where incorporating the surrounding farmland (in conservation), the average lot size is 1-acre.



Homes including, or incorporated within working farmland are appropriate.



A tightly knit neighborhood with attention paid to incorporating natural features into the streetscape to acknowledge the countryside character of the place. Entrances face the street and sidewalk and front porches are encouraged.



Homes should front on neighborhood greens, parks and amenity spaces thus strengthening the sense of community and providing passive safety through "eyes on the street".

# SCENIC ROADS

The roads that run across and through much of Haywood County's Countryside create views and vistas that contribute to a strong sense of place and are highly cherished by the community. Feedback in response to the Community Vision Survey demonstrates that the proper design and dimensions of the road itself, combined with vegetation, screening, fencing and other edge conditions, can enhance these "scenic" and "countryside" qualities.

## BASELINE STANDARDS

All publicly maintained roadways in Haywood County beyond existing urbanized areas and within the Countryside area as depicted by the Protect and Grow map are subject to consideration as a Scenic Road.

- Recommended buffer along roadways varies based on site specific conditions. The width of the buffer may be expected to range from 30 ft. - 50 ft. as measured from the edge of pavement.
- Improvements within scenic roadway buffer zones are encouraged dependent on final width and site specific conditions. Where utilization is passive in nature, removal of invasive species is appropriate. Where utilization of the buffer permits active uses, equestrian trails and/or multi-use trails are appropriate.
- Improvements within scenic roadway buffer zones consisting of split rail or multi-rail fencing are encouraged dependent on specific site conditions.
- Replacement of dead trees with new appropriate specimen trees that share in growth characteristics is highly encouraged.
- Ensure character of development addresses recommended approaches defined in Natural Environment and Farmland, pages 10 and 11, where appropriate.



Preserve existing scenic views and use existing tree stands and topography to screen new development from certain viewsheds.

## SCENIC BUFFER ZONE (ENHANCED)

Results from the Community Vision Survey show strong support for preserving and enhancing existing landscape conditions adjacent to Scenic Roadways throughout Haywood County. Existing site specific landscape and terrain conditions shall be taken into consideration when designing roadway improvements in order to preserve and enhance the scenic quality of the roadways to the greatest reasonable extent possible.



The image above incorporates several features of an Enhanced Scenic Buffer Zone along a rural roadway including preservation of specimen trees, a 3-rail fence, and graded swale that also serves as a shoulder.



New homes are located behind the existing tree stand, preserving the scenic viewshed from the main road.

## PROTECTING SCENIC VIEWSHED STRATEGIES

### DEVELOPMENT LOCATION

Consideration will be given to existing scenic viewsheds in the Countryside area of Haywood County. Applications are encouraged to demonstrate that development will result in a minimal impact on existing viewsheds from scenic roadways and neighboring properties.

### DEVELOPMENT ORIENTATION AND MASSING

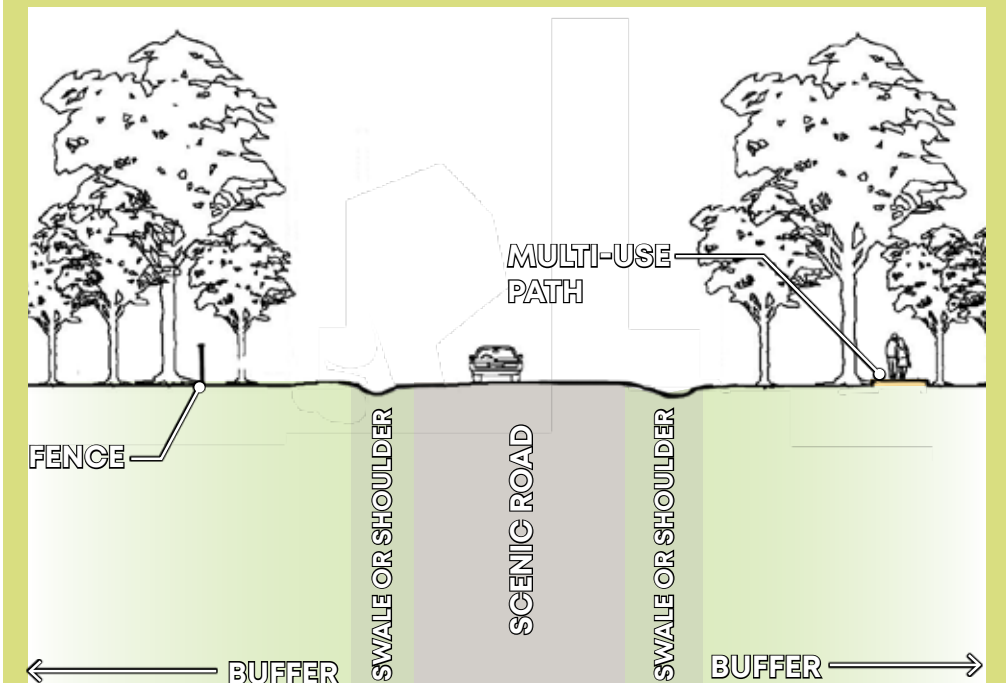
Design the development to take advantage of scenic viewsheds that are adjacent to the site.

Building massing and orientation can enhance the view from within a development to scenic views surrounding the site.

Preserve existing tree stands along rural roadways by focusing development and associated access points outside of the scenic road buffer. Reference image below.

Along scenic roadways which lack mature trees within the recommended buffer, consider additional setback width from the existing primary public road to be set aside as passive open space or agricultural use where appropriate.

Existing site topography shall be taken into consideration to incorporate ridgelines and natural features as a means to screen development where applicable.



Existing scenic roadways may be enhanced through thoughtful, site specific improvements transforming the space into an active amenity for the community.

### SCENIC BUFFER ZONE (PRESERVED)

Preservation of existing mature tree stands and landscape within the Scenic Buffer Zone is recommended. Where removal of invasive, diseased, or dead species occurs, replace with native trees and landscape with similar growth habits. While maintaining safety, minimize the horizontal distance between above ground utilities and the roadway to reduce impact of associated tree maintenance and trimming.



This image depicts an improved rural scenic roadway, including widened shoulders and overhead utility lines that are located so as to minimize impact on trees and landscape within the adjacent buffer. This buffer serves to screen a mixed-use development cluster.

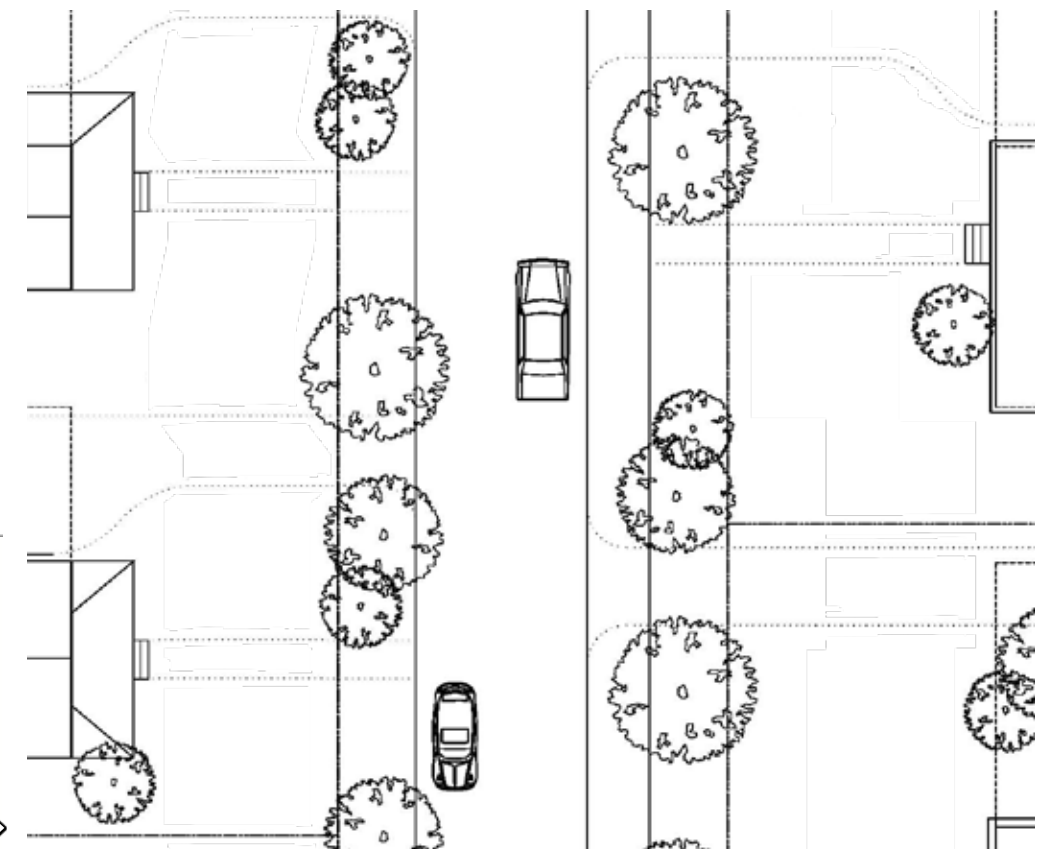
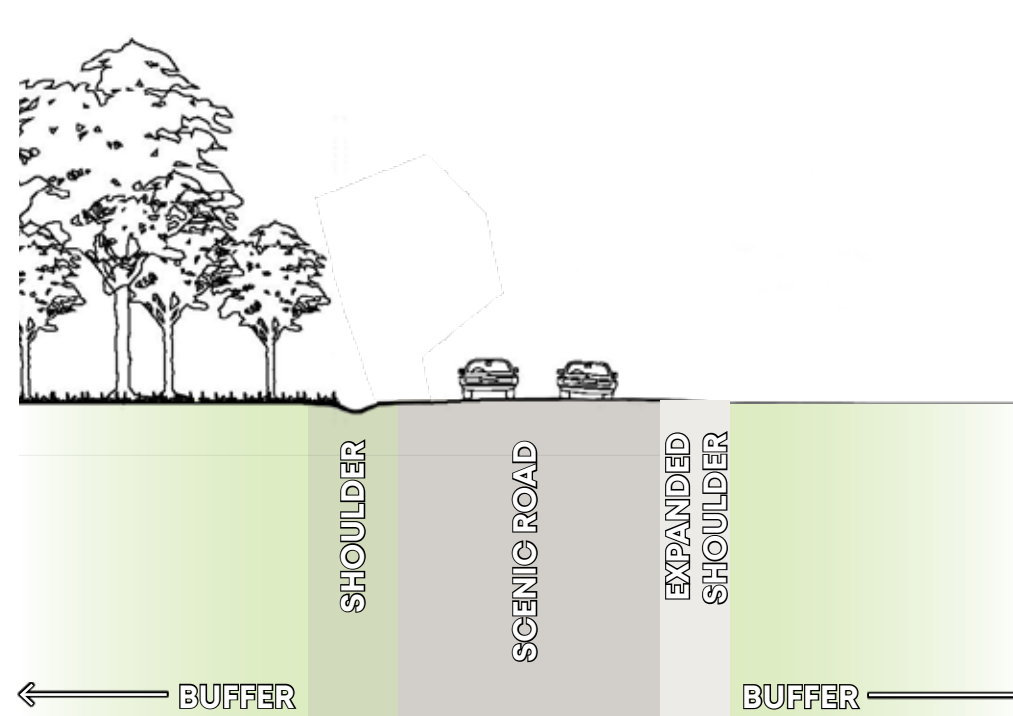
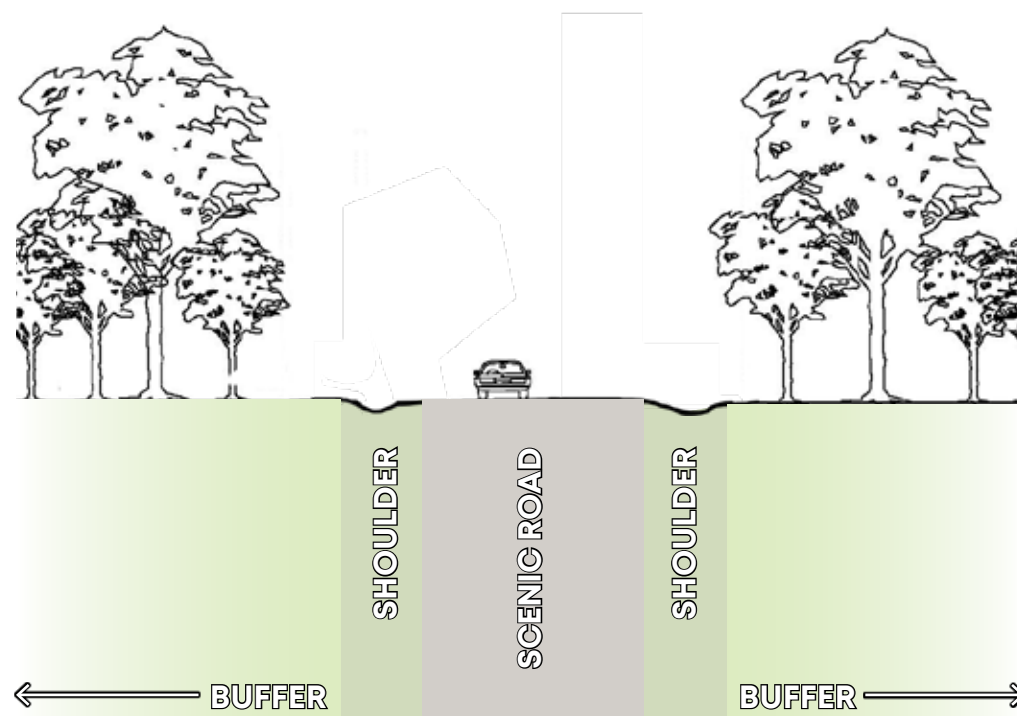
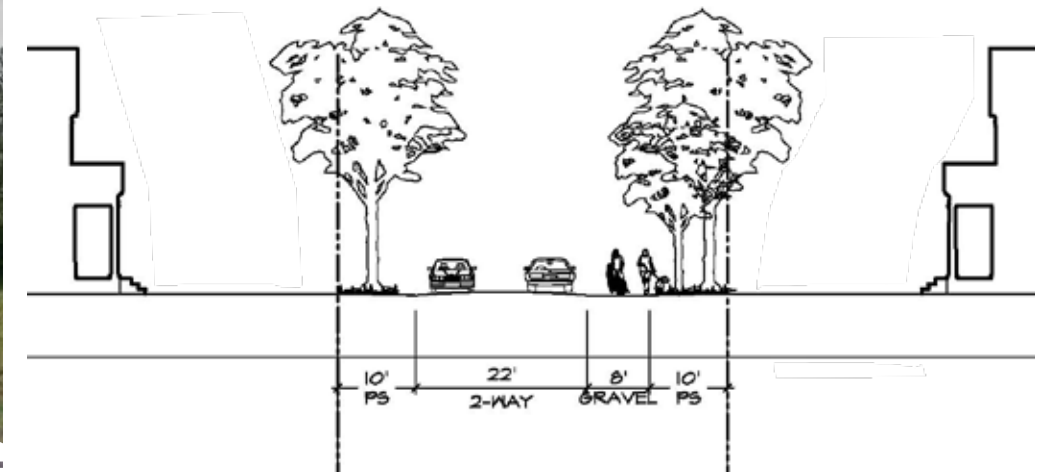
### PRESERVE AND WIDEN COUNTRY ROADS

When scenic roadways require improvements that include widening of the road or shoulders, these improvements should seek to maintain the existing vegetation on one side of the road by widening the roadway opposite the area of intended preservation to the greatest extent possible.



### COUNTRYSIDE RESIDENTIAL STREET

While streets rights-of-way should serve vehicular, bike and pedestrian traffic regardless of their location in Haywood County, the associated excessive distances between homes may result in sidewalks being deemed unfeasible. Where proposed development in the Countryside consists of lots that are greater than 150 ft. in width, are in excess of 1/2-acre in size, and the residential streets are designed for a maximum travel speed of 20 m.p.h., a gravel shoulder may be considered as an alternative to public sidewalks (as depicted below).



# FOUR-WAY SITE DESIGN

Four-Ways provide important nodes of commerce, services, social connection, and local identity across Haywood County. These nodes provide the opportunity to invest in rural communities in a manner that focuses and leverages public and private investment in small-scale development and incorporates needed services and community facilities. The locations identified in the Protect and Grow map are not exhaustive and the number of Four-Ways may be expanded over time.

## Site Design

Each Four-Way Site Design scenario shall include the Improvement Zone in addition to any areas required for off-street parking should parking be located between the front of the building and the roadway. Refer to recommended Four-Way Shopfront Conditions for additional requirements pertaining to setbacks and improvements.

**Front Setback** — Existing Four-Ways in Haywood County are defined by a variety of development patterns some of which include buildings set as close as 15 ft. as measured to the edge of pavement of the adjacent roadways. Rather than preclude redevelopment of existing buildings or prevent new buildings from corresponding with existing surrounding context, special consideration should be given to permit reduced front yard setbacks where appropriate and applicable.

**Improvement Zone** — Provide a range from 10'-0" to 20'-0" located immediately adjacent to the front of the building and within the front setback that can incorporate sidewalk, outdoor seating, landscaping and drainage swales where applicable.

**Connectivity** — Development applications must depict the location of proposed future improvements that will provide pedestrian access to the public right-of-way along with associated easements where applicable.

## Off-Street Parking

**Off-Road Gravel Lot** — Provide 40'-0" min. from the Improvement Zone to the roadway edge of pavement for vehicle parking and maneuvering. This is based on existing historic patterns of development at Four-Ways in Haywood County.

**Frontage Parking Lot** — Provide a 10'-0" landscaped buffer as measured from the roadway edge of pavement to the parking lot edge of pavement or back-of-curb. It is recommended that parking located between a building and roadway should be restricted to a single aisle where the parking aisle is parallel to the roadway.

**Rear or Side Parking Lot** — Ensure that parking is setback or in line with the front facade of the building.



### OFF-ROAD GRAVEL LOT

Immediate off-street parking provides parking and vehicle maneuvering space outside of the roadway. The lot may be gravel or paved with a minimum walkway between the parking lot and front entry to the building. Movable planters or barriers may be temporarily installed for events.



### FRONTAGE PARKING LOT

A single blade of parking at the front of the building provides maneuverability off of the roadway. A planting strip with a sidewalk (where appropriate) separates and screens the parking lot from the road.



### REAR OR SIDE PARKING LOT

Parking to the rear of the building should be connected by sidewalk to the primary entrance which is oriented to the roadway. Site design shall indicate potential future pedestrian connectivity to future neighboring development, public sidewalks and crosswalks.

## DESIGN PRINCIPLES AND COMMUNITY CHARACTER

### DEVELOPMENT AND INFILL

Increase development opportunities while retaining compatibility within existing context including legacy uses, buildings and sites.

Add buildings and permit a variety of businesses to utilize existing sites to promote economic development opportunities.

### MIX OF USES

Commercial uses and mixed-use buildings with active, ground-floor uses and residential on the floor(s) above are encouraged to promote vibrant Four-Ways.

### ARRANGEMENT

The visual arrangement and massing of buildings, voids and landscape elements should promote walkability and other alternative forms of transportation, a sense of place, and be designed to the pedestrian scale rather than encourage auto-oriented suburban sprawl.

### RHYTHM

Varied building design, facade materials, and streetscape elements should avoid monotony by creating an inviting pedestrian environment and visual compatibility with buildings and places.

### SCALE & MASSING

The overall scale and massing of structures provide the perimeter walls for streets and public gathering spaces, and shall not detract from the historic development pattern and surrounding community and landscape.

Construction shall consider appropriate form and proportion reflected in the tradition of vernacular and mixed-use with a focus on the pedestrian experience.

### PUBLIC VS. PRIVATE DOMAINS

All that is visible from public streets and open spaces shall be carefully considered to fit into the overall design context.

### EXISTING AND HISTORIC CONTEXT

Where new buildings are proposed adjacent to historic structures that establish local character and design, consideration shall be given to the materials and colors of all visible components of buildings and streetscapes, including siding, trim, doors, windows, gutters, downspouts, roofing and all other architectural features of the existing structures. New construction shall be compatible with the community in scale and material, with deference to but not imitation of the design.

### MASKING THE UTILITARIAN

Utilitarian elements such as air conditioners and electrical equipment, waste storage areas, and loading areas shall be located away from the street and screened from view. For additional recommendations and requirements, refer to 'Refuse Storage and Collection' on page 31.

### LOW-IMPACT DESIGN

Buildings and site improvements should be designed to minimize changes to existing topography, minimize stormwater run-off, and the loss of existing established vegetation. Other elements should be considered, including:

- Pursuit of LEED or similar site and building certification
- Water and energy efficiency (Energy Star and WaterSense certified products and services)
- Filtering stormwater runoff; collection and reuse of rainwater for irrigation
- Dedicated on-site separation and collection of recyclables



## CIRCULATION PRINCIPLES

### PEDESTRIAN AND VEHICULAR CONNECTIVITY

All elements of the streetscape shall be designed and operated to enable safe access for all users of all ages and abilities to safely move along and across streets in the community.

Provide an interconnected pedestrian network with crosswalks, sidewalks, active public spaces, and linkages to neighboring and surrounding uses.

Encourage the provision of bicycle parking and related alternative transportation infrastructure.

### PARKING AND ACCESS

New buildings should be located as close as practical to the street, adjacent to the public sidewalk (where applicable), with parking areas located to the side or behind the primary structure. (See page 18 for parking configuration examples) In the case of existing parking areas located in front of existing buildings, these parking areas should be improved with increased pedestrian access, enhanced buffer and screening, outdoor seating, landscaping, and opportunities for small public gathering spaces, to create a more accessible, pedestrian-friendly streetscape.

Where practical, on-street parking shall be provided and clearly marked to create a barrier between pedestrians and vehicular traffic.

Vehicular and pedestrian connections to adjacent lots should be provided, particularly when lots are being designed or redeveloped simultaneously or in succession.

Minimize the footprint and visual impact of parking areas by right-sizing parking lots by minimizing the dimensions of drive aisles and parking spaces, installing permeable paving alternatives and providing additional landscaping.

Where adjacent lots are not being redeveloped simultaneously or in succession, accommodating for potential vehicular and pedestrian connections shall be provided to ensure their connectivity in the future.

Where possible, incorporate bioswales into parking lot landscape design.



Encourage formal and informal event spaces at Four-Ways as a component of private or public investment. The gazebo may be located adjacent to local businesses for the use of patrons and residents while open spaces may be used for a variety of community events.

A local and regional trail network should connect Four-Ways to surrounding natural features, destinations and other communities across the county.



Promote outdoor gathering spaces associated with retail, restaurants and commercial uses. Exterior lighting should draw upon the surrounding architectural character and can be used to enhance outdoor rooms.



Incorporate public art such as wall murals, and sculptures into Four-Ways. Artwork may be used as signage for businesses or as a means for community wayfinding.

## ADDITIONAL FOUR-WAY ENHANCEMENTS

### ARTWORK

Encourage public art, sculptures, and murals to display cultural and local character.

### SEATING

Promote engagement with the community by providing outdoor seating in the form of picnic tables, benches, and gazebos for dining, public gatherings, and casual conversations.

### TRAILHEADS

Incorporate trailheads and walking paths to encourage engagement with the natural features and farmland surrounding the Four-Way.

### LANDSCAPING

Provide landscaping that enhances the architectural character at the four-way, acts as screening for utilities and parking, and defines outdoor spaces for gathering.



Farmers markets and sheltered community spaces can accommodate a variety of uses, provide support for local farms and agricultural products, and programming that brings the community together on a regular basis.



Civic, religious, and community gathering spaces are encouraged to locate at or near Four-Ways. Entrances are clearly defined and address streets and sidewalks.

# FOUR-WAY SHOPFRONT CONDITIONS

New construction and renovation of existing buildings for commercial, mixed-use, and public facilities should be designed in a way that creates a visually appealing and interesting experience for patrons and residents while creating an architecturally expressive building that visually connects visitors and employees with the interior and vice versa. The shopfront has substantial glazing at the ground floor level and may include an awning, canopy or porch that overhangs the sidewalk or front patio space.

## General Design Principles

**Primary Facades & Entrances** — Primary facades must face the street with clearly defined entrances. Well designed entrances that incorporate awnings or porches, recessed entries, doors with large areas of clear glass above a solid panel at the base and surrounded by a finished or painted frame, doors which may be painted or accentuated with complimentary colors, and transoms located and appropriately scaled over doors are all encouraged. Residential doors are inappropriate. Entrances to upper floors should be clearly distinguished from the ground floor entrance.

**Transparency** — The primary street-facing facade should have between 50% and 85% glazing as measured from grade to the interior ceiling level and is unique to Four-Way shopfronts. Ground floor windows should incorporate a high visible transmittance value (37% or greater) and low daylight reflectance (15% or less). Colored or mirrored glazing and glass block are discouraged.

**Materials** — Brick, stone, cast stone, ceramic tile, hardcoat stucco, wood, cementitious planks and panels, or pre-finished heavy gauge metal panels are preferred. Synthetic stucco, vinyl siding, and light gauge metal panels, imitation stone, and EIFS as a primary material are discouraged.

**Height** — One to two story buildings incorporating 14 ft. to 16 ft. ground floor ceiling heights as measured from the finished floor at the primary entrance.

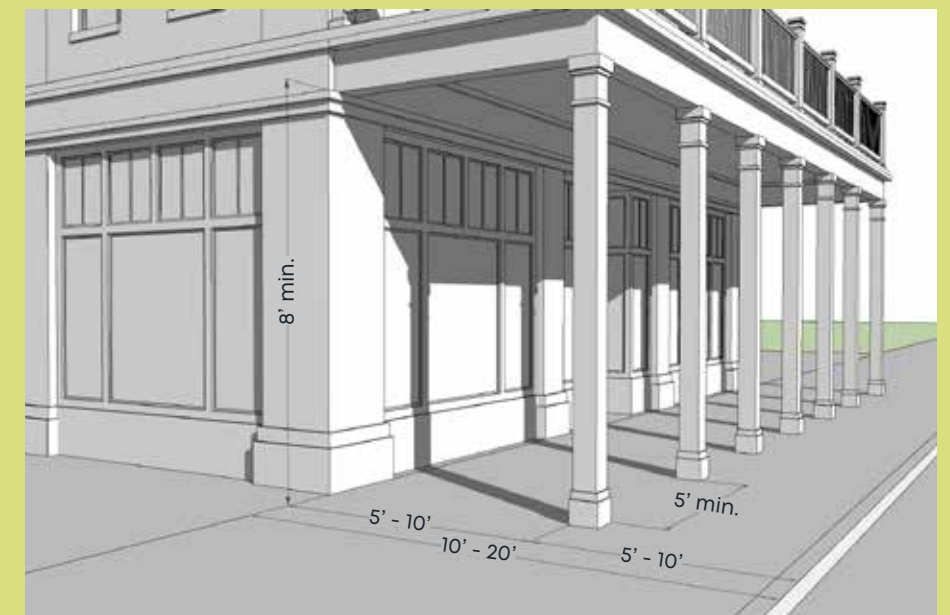
For additional Design Principles, see page 31.



## AWNING AND PORCH

### RECOMMENDED DIMENSIONS

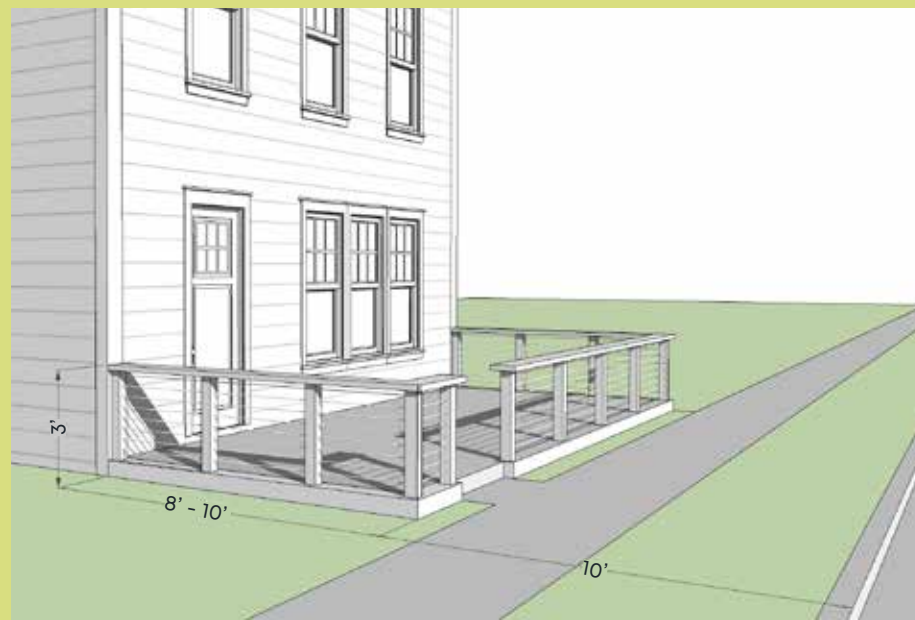
Depth of awning and pitch	4 ft. (minimum); 8-in-12 to 12-in-12
Depth of porch	5 ft. (minimum)
Clear height at awning/porch	8 ft. (minimum)
Depth of recessed entries	7 ft. (maximum)
Front Improvement Zone	10 ft. to 20 ft.



## DOORYARD AND PATIO

### RECOMMENDED DIMENSIONS

Width	50 ft. (maximum)
Depth	8 ft. (minimum)
Wall/Fence/Hedge height	36 in. (maximum)
Finish level above sidewalk	3 ft.-6 in. (maximum)
Front Improvement Zone	10 ft. to 20 ft.



Design elements within the Improvement Zone should show consideration for the temporary extension of business activity into the front setback. Design of the space should accommodate intended uses such as special sales events, temporary markets, and outdoor tables and chairs for restaurants and grocers to occupy the space. This arrangement of space provides visual interest and better supports small businesses located in and around Four-Ways. Renovation of existing structures should consider incorporating dooryard, patio and/or porch improvements.

Most buildings go through several transformations over their lifespan. When rehabilitating or expanding an existing structure, care should be taken to repair and preserve building elements critical to the original architectural style and period where possible, while introducing sensitive yet modern interpretations of traditional elements where they are missing. Every effort should be made to maintain, restore and reuse buildings of local historic significance.



## ADDITIONAL DESIGN RECOMMENDATIONS

### SIGNAGE

- The size of signs and letters on signs shall be in scale and proportion to the space in which they are located.
- Pole mounted signage is discouraged.
- Internally illuminated signage is discouraged.

### LIGHTING

- Free standing light fixtures should be between 10 ft. and 14 ft.
- Attached building mounted lighting should be coordinated with the building design to be in keeping with the style of architecture. Lighting levels should be not exceed 3 foot-candles maximum.
- "Rope Lighting" and other sources of unshielded lighting visible from the building's exterior is strongly discouraged.

### DRIVE-THRU

Drive-thrus are generally discouraged. Drive-through windows should be located to the rear or the side opposite the sides of the building facing public street(s) and screened appropriately. Access and egress shall be configured to minimize disruption to pedestrian movement.



*THIS PAGE INTENTIONALLY LEFT BLANK*



Investment and change in Haywood County is likely to occur at various scales and locations. In some instances, new development is likely to occur just beyond existing built up areas throughout the county where existing infrastructure and services can more readily accommodate growth. In other cases, what are more rural communities today may evolve to take on the character of small towns. These locations are defined as the Community place type. This section of the Design Guidelines outlines residential, commercial, and industrial development standards and regulations within these areas. The imagery and guidelines draw upon the responses received in the Community Vision Survey to determine forms and characteristics of retail and commercial, residential, and industrial development considered appropriate for Haywood County.

RESIDENTIAL AND ARCHITECTURAL DETAILING	22
COMMERCIAL	28
MULTIFAMILY	32
INDUSTRIAL	34
DEVELOPMENT STANDARDS	35



# RESIDENTIAL NEIGHBORHOOD FORM

As a means to support the vision and goals for Haywood County envisioned by its residents, new residential neighborhoods shall incorporate basic principles and approaches to layout and design.

## General Design Principles

**General Layout** — Neighborhoods should be designed at a human-scale with all age groups, and physical abilities in mind. A 5-minute walking radius may serve as a fundamental guide to layout and arrangement of uses, circulation and amenities. Design should reflect a balance between home and building sites, shared amenities, pedestrian connectivity and vehicular access. Neighborhoods defined by lengthy cul-de-sacs are discouraged in favor of networks of interconnected streets, sidewalks, open spaces and trails. Incorporating future connectivity to adjacent properties should be considered within the design of any proposed development.

**Usable Open Space** — Neighborhoods should incorporate usable public and/or semipublic open space as highly visible amenities and focal points. Locating significant portions of a neighborhood’s usable open space to the rear of homes and residential units or in ways that limit visibility from public view is discouraged.

**Mix of Home Types** — Large scale development consisting of a mix of home types such as single-family detached homes, townhomes, and flats is encouraged while monolithic neighborhoods defined by only one or two home types are not preferred.

**Streets** — Streets and their associated right-of-ways should be designed to encourage and support the neighborliness that residents cherish about the community today. Well-designed streets consider a balance between pedestrians, bicycle and vehicular access. Reduced design speeds should be a consideration when designing neighborhood streets.

Refer to preferred Street Sections and Streetscape Standards (page 24) and refer to Scenic Roads (page 14) where applicable for locating neighborhoods relative to scenic roadways.



Diverse mix of front-load and alley-loaded homes along interconnected, tree-lined streets. The result is a neighborhood that provides easy access to neighborhood parks and amenities.



Where neighborhood design incorporates preserved or enhanced natural features, the layout of the neighborhood should be oriented towards these valued amenities. In addition to addressing natural features, neighborhoods should engage the natural environment through trails and multi-use paths.



Public and semi-public greens and parks should be incorporated into the neighborhood design. A mix of housing types will allow for neighborhoods to offer different types of homes to people at all stages of life and a broader market.

## SITE DESIGN

### NEIGHBORHOOD DESIGN

The development plan shall locate buildings, parking areas and open space in an arrangement that promotes the enjoyment of dwelling units, buildings, other on-site facilities and the community as a whole by employees, customers and residents of the development.

Dwelling units and buildings shall be primarily oriented towards the street and open spaces and away from parking lots and garages.

Active and passive recreational areas and other public and/or semipublic open space, such as parks, pocket parks, squares, greens, courtyards, plazas, mews, pedestrian promenades, community gardens, and dog parks shall be designed to promote use and enjoyment by residents of the development. Such areas shall be designed to utilize natural features of the site, including existing vegetation, where possible, and shall be extensively landscaped with a wide variety of plant materials in line with their primary intended use. Where such areas are enclosed by buildings, such as mews, courtyards and plazas, they shall be designed to be architecturally formal and geometrically logical; however, this shall not preclude the use of curvilinear designs for walkways or landscaped areas.

Within new residential and mixed-use developments, usable common open space shall be provided for any development consisting of more than 10 residential units. For a common open space to qualify toward the minimum area, such open space shall have a minimum length and width dimensions of 40 feet and shall have a minimum area of 4,000 square feet. The common open space may be configured as one or more parks, squares, greens, courtyards, plazas, mews, pedestrian promenades, community gardens, and dog parks and may constitute a portion of a larger common open space that will be completed within a subsequent development or phase of development. See 'Parks and Open Spaces' on page 25 for additional recommendations.

The development plan shall incorporate landscaping with other functional and ornamental site design elements, where appropriate, such as the definition of lots and respective yard areas, courtyards, plazas, open spaces, sidewalks, walkways, paths, berms and other earth forms, ponds and other water features, accessory structures, fences, walls, furniture as well as art and sculpture.

### BLOCKS

The length, width and area of blocks created within bounding shall be such as to accommodate the lot areas and dimensions required for the specific use(s) and to provide for convenient access, circulation, and accommodation of permitted uses as defined in the application.

In general, the uninterrupted length of internal blocks and streets shall not exceed 450 ft. The walking distance between two homes backing onto each other shall not exceed 900 ft. Exceptions may be considered subject to site specific design.

### LOTS

No lot shall be created on which development may be rendered impracticable due to significant environmental or man-made constraints, such as steep slopes, wetlands, floodplains, flood hazard areas, drainage or other natural conditions or lack of sewer capacity, utility service, vehicular access or other man-made conditions. Lots which front upon open space and not a street shall have its vehicular access from an alley.

### LOT LINES

Side lot lines shall be at right angles to straight street lines and radial to curved street lines, wherever practical.

## PARKS AND OPEN SPACE (ALL PLACE TYPES)

### USABLE OPEN SPACE

The amount of usable open space is based on the size of the site, the features of the land, the types and number of residential units / homes provided, and the quality of the usable open space. A usable open space ratio of .02 acres per residential unit is encouraged up to 25% of the total developable area of the site. Recommended usable open space may be reduced by up to 50% upon consideration of enhanced design, landscape and features (see below).

### PLANTING GALLERY

Planting Galleries serve as small usable open spaces defined by abundant landscape and may include minimal lawn or limited space for active recreational use. These spaces may also accommodate community gardens or small dog parks.

### MEWS

These spaces should be strategically located such that frontage on one side of the space is along a public street or on pedestrians routes such that form a network of interesting places that are easy to access.

Shall incorporate 40 ft. (minimum) of frontage along a public street on one side of the open space. Alley or rear access development may occur along a mews provided that the buildings primary entrance is oriented towards the mews.

### NEIGHBORHOOD PARKS

This open space is generally larger than a Planting Gallery or Mews and should be designed to accommodate one or more program types or uses including open lawn suitable for unstructured play or an informal sports field, playground(s), splash pads, dog parks, community gardens, performance space, public art, formal games or sports facilities, and seating.

### POCKET PARKS

Intended to occur in existing built-up areas, larger spaces between buildings, vacant lots, excess paved areas, excess parking spaces, closed driveways and underutilized setback areas can be transformed into small neighborhood parks including hardscaping, landscaping, lighting, art, activity centers, performance spaces, shared outdoor seating and dining for the use of the general public.

### DESIGN FEATURES & ELEMENTS

Where provided, street furniture includes benches, waste containers, planters, mail boxes, bus shelters, bicycle racks, water fountains, potted plants and planters, and bollards. Street furniture must be compatible with the architecture of surrounding buildings, the character of the area and other elements of the streetscape.

Open air structures such as pergolas, gazebos, monuments, and docks are encouraged where appropriate.

### SHADE

Mature trees, outdoor umbrellas, shade sails, and pergolas with or without plants growing on them are all shade options. Consideration shall be given to providing shade for active outdoor recreational uses and/or associated seating areas.



Well landscaped Planting Gallery



Mews with adjacent alley-access homes.

## SPECIAL CONDITIONS

### CORNER LOTS



Architectural character, materials and detailing should continue from the front to the side street facade, appropriately addressing both streets. Buildings located on corner lots that lack appropriate detailing and fail to address the secondary street are strongly discouraged.

### TERMINATING VIEWS



Site orientation and building form should emphasize the axis or focal point created by streets and viewsheds by appropriately terminating the view. Termination of axial views on carports, garage doors, trash enclosures, and service areas is discouraged.

### ADDRESSING USABLE OPEN SPACES



Homes and entries should be sited to front towards usable open space so they clearly define the open space and create the feeling of an attractive 'outdoor room'. Homes backing onto usable open spaces and public right-of-ways are strongly discouraged. Where homes are required out of necessity to back onto or are visible from usable open spaces and public right-of-ways, architectural character, materials and detailing should continue from the front to the rear facade. Fence type and materials along these edges will be closely regulated to protect the value these spaces provide to the community.

## LOT STANDARDS

### LANDSCAPING AND SCREENING

Plant suitability, maintenance and compatibility with site and construction features are critical factors for consideration. Plants shall be nonexotic, noninvasive and drought-tolerant and to the best possible xeriscape.

The reviewing body may request a "Plant List" describing plant type (category) and species.

For lots with a front yard setback of at least 20 feet, additional trees shall be provided in the front yard area as follows: one shade tree for every 50 feet of lot width or part thereof, and one flowering tree for every 35 feet of lot width or part thereof. The shade tree shall be planted at a minimum size of 2 inches in caliper and 6 feet in height at the time of planting. The flowering tree shall be planted at a minimum size of 1 1/2 inches in caliper and 2 feet in height at the time of planting. For lots with a front yard setback of less than 30 feet, the required planting of a shade tree in the planting strip located between the street back-of-curb and the sidewalk may substitute for the shade tree requirement. See preferred Street Sections and Streetscape Standards.

Planting the base of the front and side of all buildings using plants consisting of evergreen and deciduous shrubs and trees is preferred. Such plantings are recommended to be spaced an average of 3 feet on center.

Where a masonry wall or solid wooden fence is utilized, the design of such shall be architecturally compatible with the style, materials, colors and details of the building(s) on the site.

Where an evergreen screen is utilized for buffers, and site screening, such plantings shall be in a continuous row and may be overlapped or staggered within such row.

All ground level HVAC equipment and utility service boxes shall be suitably buffered and screened to minimize views of the same from both within the site itself, as well as from adjacent and nearby properties and public rights-of-way.

### FRONT YARD

A reduced Front Yard Setback may be appropriate and is encouraged where the buildings and the neighborhood are designed to engage with streets and sidewalks in a way that creates a sense of "human scale" and where pedestrian connectivity plays a critical role. The neighborhood should be defined by ample usable open space in terms of both variety of space and proximity to all occupants.

Reduced Front Yard Setbacks will require consideration on a project or site specific basis. General consideration of a Front Yard Setback of 22 feet as measured from the back of sidewalk may be appropriate.

Where possible, homes, front porches and stoops shall be elevated 18 inches (absolute minimum) and 24 inches (preferred minimum) above the finished elevation of the front sidewalk.

Consideration will be given for porches and bays to encroach up to 7 feet into the front yard setback and setback facing the side street at corner lot conditions.

Front porches and stoops are strongly encouraged to be 7 feet minimum in depth.

Fences located in the Front Yard Setback shall be uniform in character and reflect the architecture of the primary building. Fences located in the Front Yard Setback shall be a transparent style of pickets with a maximum height of 36 inches.

Chain-link fencing within the front yard setback and where visible from the public right-of-way is strongly discouraged.

# RESIDENTIAL STREETScape

Streets form the backbone of a community and define how we experience and engage in business, recreation and day-to-day activities. Well-scaled streets are defined by qualities including front yard landscaping, sidewalks separated from the street by a suitably wide planting strip containing shade trees and pedestrian-scaled street lights. The homes lining the streets incorporate a variety of architectural forms, massing, and styles including front porches and stoops resulting in a “pedestrian-friendly” neighborhood experience for families and a safe walking route for children and senior citizens. Residential streets, their adjoining sidewalks, multi-use paths and opens spaces work in concert to create a vibrant public realm.



The homes and streetscapes above incorporate a variety of architectural forms, massing, and styles including front porches, resulting in a “pedestrian-friendly” neighborhood experience for families and a safe walking route for children and senior citizens. Neighborhoods consisting of well design streets such as those depicted may warrant reduced front yard setbacks.

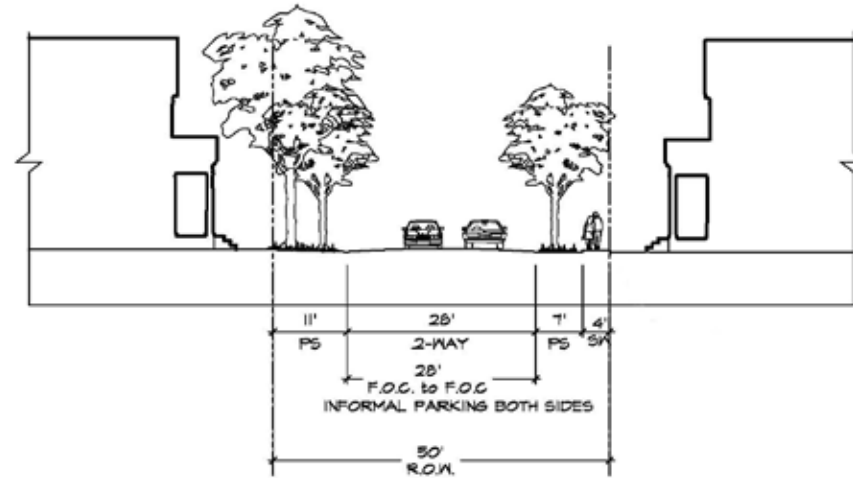


Typical residential streets allow for informal on-street parking and in certain instances formalized on-street parking.

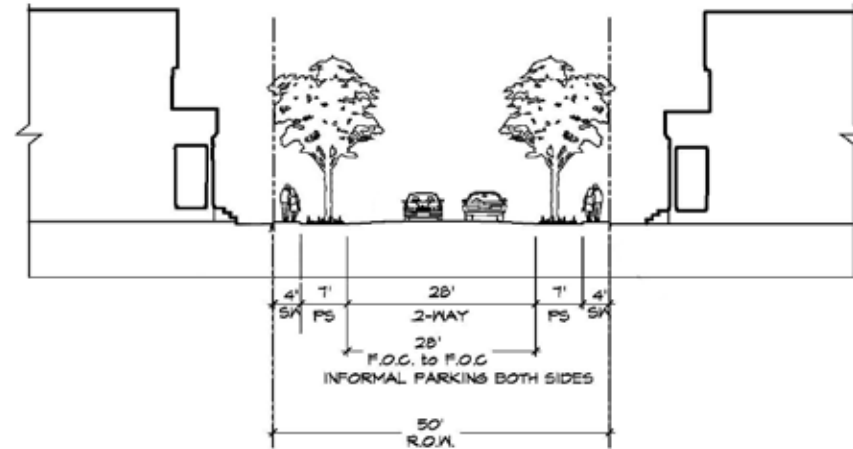


These images show residential streetscapes with similar qualities including ample front yard landscaping and a well-defined sidewalk separated from the street by a wide planting strip containing shade trees and pedestrian-scale street lighting.

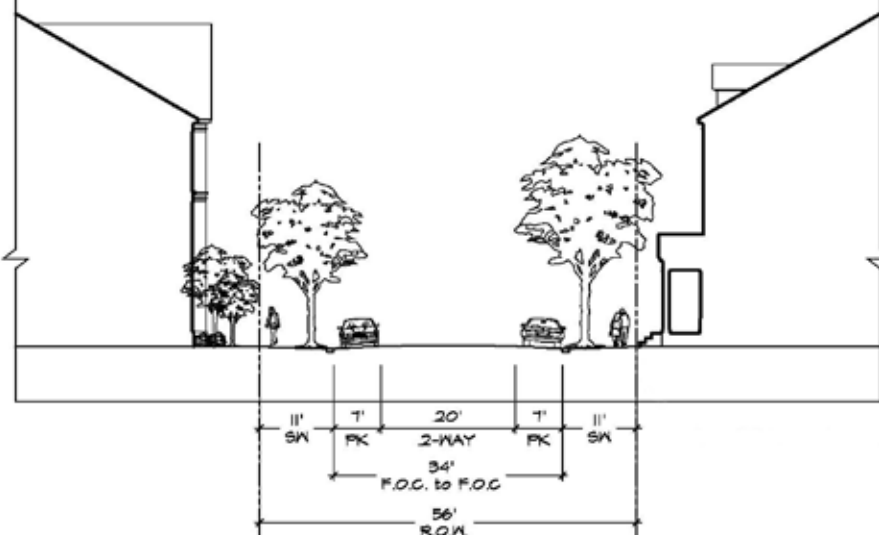
## RESIDENTIAL STREET SECTION (SIDEWALK ONE SIDE)



## RESIDENTIAL STREET SECTION (SIDEWALK BOTH SIDES)



## RESIDENTIAL STREET SECTION (FORMALIZED ON-STREET PARKING)



## STREET DESIGN

### LOT ACCESS

All lots shall have frontage on and driveway access to a public or private street or alley.

In those cases where a lot has frontage directly upon an open space, park or mews, such lot should have rear-loaded driveway access from an alley.

### STREET NAME SIGNS

Street name signs shall be placed at all street intersections within or abutting the development. Consideration may be given to the type, style and location of such signs to better complement the character of the community.

### STREET LAYOUT

Streets shall be designed to provide for motor vehicle, bicycle and pedestrian circulation that is safe, controllable, and convenient for all users utilizing all modes of travel.

In general and where possible, streets and neighborhoods shall be designed to discourage focusing through traffic and access onto one or two roads within residential neighborhoods.

The layout and location of streets shall be planned to continue the street system pattern of the surrounding neighborhood(s) and shall provide for the extension of existing streets, where applicable. Where no such surrounding development or street pattern exist, layout and location of streets shall anticipate future connections and incorporate dedicated right-of-ways and/or easement to enable future connections to be constructed.

Streets within the Community and Town & City place types, shall include informal or formal on-street parallel parking in order to provide for guest and customer parking, to promote pedestrian street activity, and lower vehicular speeds.

Curb “Bump-Outs” may be appropriate for instances of “mid-block” crossings and at intersections.

Crosswalks and associated signage shall be provided at intersections in order to better elevate pedestrian safety and comfort. Crosswalk markings conforming with the Continental (“Zebra Stripe”) pattern are preferred.

Street layout and design shall take into consideration the creation of a safe pedestrian path for children to reach nearby schools and/or bus stops (existing or proposed).

### STREET TREES

Street trees shall be planted a minimum of 3 1/2 feet inside the sidewalk, on or near the right-of-way line or, if such location is not possible, in the planting strip, between the curb and the sidewalk, so as to form a line parallel to the street. The placement and type of street trees shall be such so as not to interfere with below-grade utilities, roadways, sidewalks or streetlights.

Street trees shall be provided at intervals of approximately 30 to 40 feet along each side of all streets.

### LIGHTING

The number and height of street lights shall be kept to a minimum and correspond with preferred lighting standards located on page 35.

Pedestrian scale street lights of 10 feet to 14 feet are preferred.

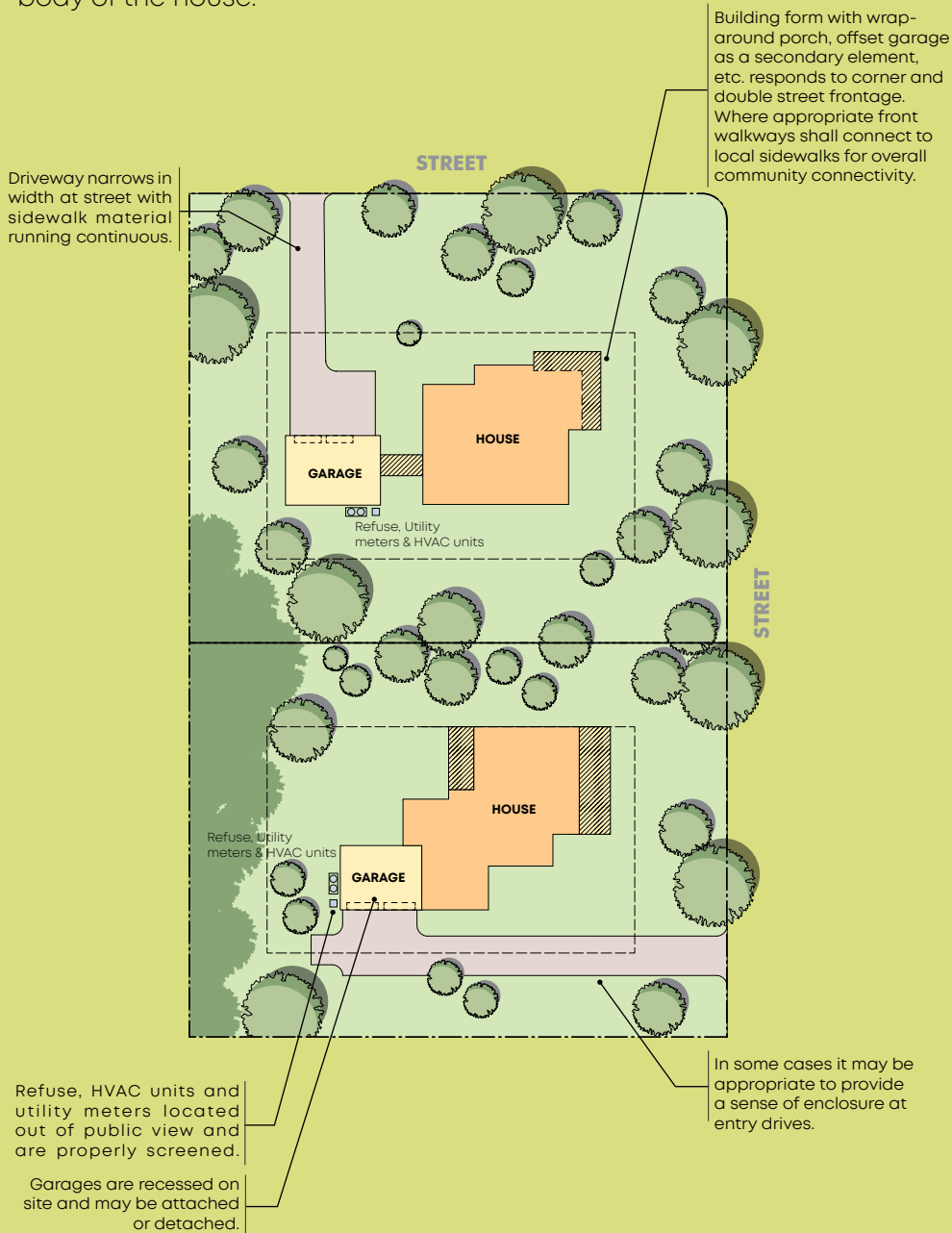
Within the Countryside place type, consideration may be given to providing light on the home in lieu of some street light standards in order to maintain the rural character and provide ambiance befitting Haywood County.



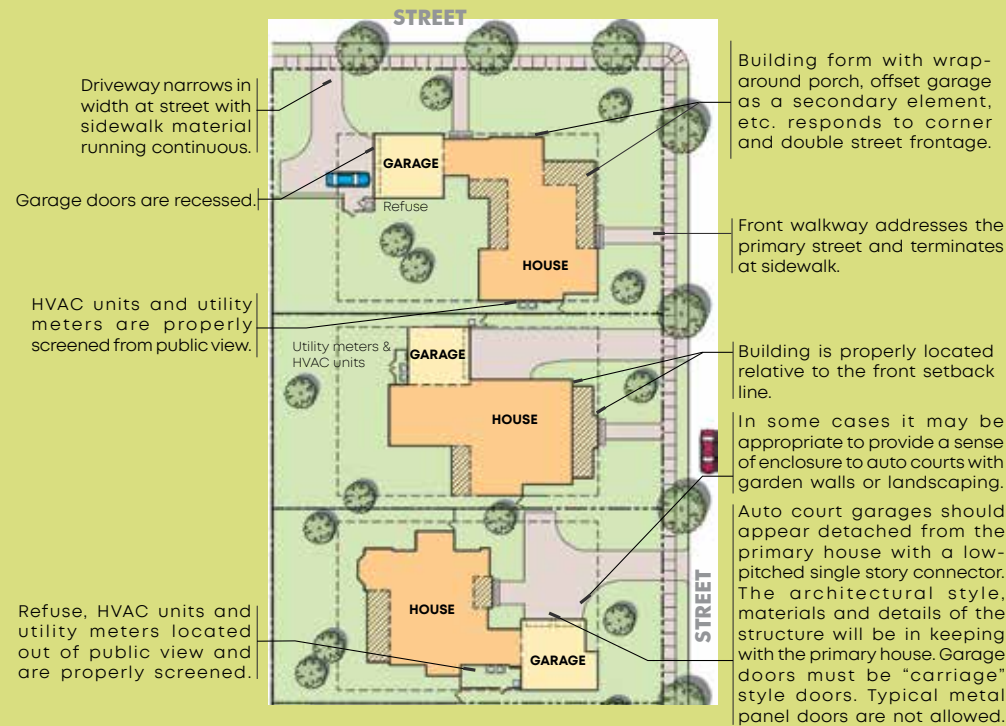
# RESIDENTIAL GUIDELINES

## LOT DIAGRAMS

Large Scale Lot Diagrams range in size from 1/4 acre or larger. Garage placement should follow the Garage Design and Siting standards on this page but the garage does not need to be attached to the main body of the house.

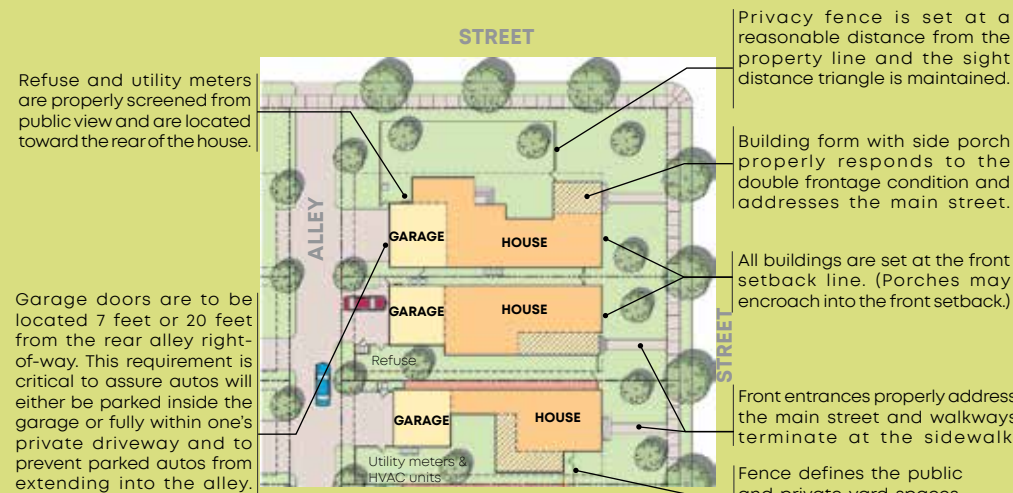


Medium Scale Lot Diagrams range in size from 8,000 s.f. to 11,000 s.f. (1/4 acre) and can accommodate rear- and front-loaded homes.



Homes exceeding 50% coverage of a residential lot may be appropriate in neighborhoods of exceptional design as outlined in this document.

Small Scale Lot Diagrams range in size from 6,000 s.f. to 8,000 s.f. and largely accommodate rear-loaded homes.



Homes exceeding 50% coverage of a residential lot may be appropriate in neighborhoods of exceptional design as outlined in this document.

## GARAGE AND CARPORT DESIGN AND SITING

### GARAGE AND CARPORT DESIGN AND SITING

The location, massing and scale of a garage will not compete with or overwhelm the primary body of the house. Garage forms, design, materials and detailing should be similar in quality to the house. A garage which is visible from the street or public view will receive careful design attention and shall compliment the primary facade.

Where applicable, residential driveways should be a maximum 12 feet in width between the lot line and the curb.

### RECOMMENDED GARAGE AND CARPORT LOCATIONS

Basement or lower level, as grade allows, entered from the side.

Where front facing:

- 25 feet from the back of the sidewalk
- Set to the side of the primary house a minimum of 12 feet behind the main body of the house and shaded by a minimum 2 feet overhang or trellis.

When to the rear of the lot and accessed from a rear alley, the garage shall be designed integrally with the house and of complimentary design or it may be designed as a free standing building. The design and type of garage doors for this garage are less restrictive. The garage shall be set 7 feet or 20 feet from the alley right-of-way.

Corner street access garages. When the garage doors do not face the street, the garage may be treated like an alley access garage. If the garage doors face the street, the garage design must meet the requirements of a front street access garage.

### MATERIALITY

Typical 'false panel' or stamped panel steel doors are not appropriate when the door is visible from the street or public way

Flush plank metal embossed doors are recommended on all non-carriage house type garages.

Where possible garage doors will be single bay in width (min. 9 feet wide) and 8 feet tall.

Garage doors double bay in width should be 18 feet wide (minimum).

Garage doors may be recessed minimum 8 inches within the wall plane or a pergola or porch type roof can be extended above to minimize the impact.

Where applicable, it is recommended that garage doors be painted a dark or 'recessive' color in lieu of typical lighter trim color to minimize the scale and impact.

Special attention shall be given to the design of alley access garages so that the slope variance from the alley to the finished floor level of the garage is not excessive.

## SITE AND BUILDING LIGHTING

### LIGHTING

Light fixtures should be of a style, size and material that is appropriate for the building's architectural character and location.

Security and flood lights must not be mounted or directed to shine onto adjacent properties, open spaces, or into public right-of-ways

Lighting source should have a color temperature between 2,700K and 3,500K with a color rendering index of at least 65.

Well-designed soft lighting of the building exterior shall be permitted, provided that the lighting complements the architecture. The lighting shall not draw inordinate attention to the building. For additional lighting design standards see page 35.

# ARCHITECTURAL CHARACTER AND DETAILING

One simple time tested rule of classic/timeless architecture is that no one element, composition of elements, detail or material call undo attention to itself. Any single or combined element which “screams” for attention is generally inappropriate. The overall composition, form, massing, scale, proportion, material and details as a whole should all work in concert to create a beautiful homes that feels right. One must carefully study and resolve how all the elements, details and materials work together not just on the front elevation but as a three dimensional form in order to achieve the desired result.



**NO**



**YES**

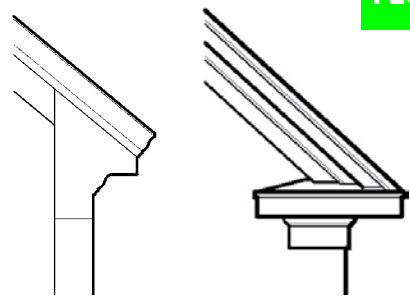
Inappropriate cornice detailing, scaling of windows and shutters, placement of the garage and lack of covered entry.

Appropriate detailing of the dormers, cornice, use of materials, placement of the garage, and foundation plantings.

## CORNICES AND RAKES



Classic cornice and rake detailing with cornice returns provide a timeless quality to this gable form.

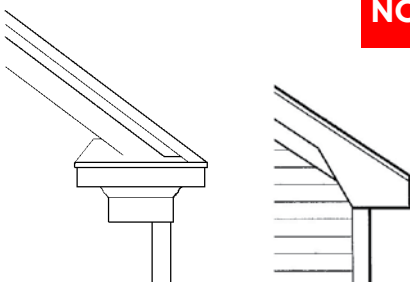


Traditionally scaled and detailed cornices will follow time-tested scale and proportions. Where appropriate to the style, gable end shall have cornice returns.

**YES**



The angled fascia of this rake and frieze are not correct or appropriate.



Example of inappropriate cornice detailing that is associated with 'tract' housing and minimum builder level construction.

**NO**

## ARCHITECTURAL CHARACTER AND DETAILING

### MATERIAL AND DETAILS

All elevations of the main body of the house should maintain a consistent palette of materials, finishes, and colors for wall and roofing materials.

Exterior finish materials may include lap siding, brick, painted brick, or stone.

Roofing materials may include asphalt shingles, standing seam metal, slate or synthetic slate, appropriate to the style.

Combinations of exterior materials may be appropriate on a single house and should be based on historical precedent for the architectural style.

Changes in materials should occur at an appropriate inside corner or horizontal transition point consistent with the style.

The use of stone, and its color and pattern, must be appropriate to the architectural style. Samples of brick or stone must be submitted with roofing and paint colors for review.

Lap siding should have an exposure appropriate to the style and should be composed entirely of cementitious material.

Heavy timber accents and structural member are appropriate as consistent with the architectural style.

### BRICK WORK AND COLORS

Overly elaborate brick work and patterns should be avoided.

Brick quoins, ornamental herringbone designs, clinker brick, and excessive brick offsets are examples of brick work that will be deemed inappropriate.

Brick should be standard size. The use of “queen” and other non-modular brick sizes are strongly discouraged.

Bricks with high contrast from one another and within the pink blends or predominantly white range are inappropriate colors.

### CORNICES AND RAKES

A cornice may be used as a cap at the top of a building wall if appropriate to the design of the building.

A cornice shall be proportioned to define the top of the building wall, but not overpower the facade elements beneath, and shall project out horizontally from the vertical wall plane to create depth and shadow on the facade.

The construction documents must contain details and sections which clearly illustrate the style, components, sizes and location of any cornice and rake.

Care shall be taken to assure the details proposed are appropriate for the style, materials and overall design of a home.

### CHIMNEYS

Chimneys and fireplace flue enclosures shall be constructed of non-combustible materials. Siding shall not be used as an exterior finish for these elements.

Prefabricated spark arrestors must be screened with an approved appropriate decorative chimney cap to appear as clay tile pot.

Although not preferred, a direct vent exhaust shall be located toward the top of the first floor ceiling line and shall not be placed along the primary facade. Direct vent exhausts shall be painted to “blend in” and reduce their visibility on the exterior facades.

## ARCHITECTURAL CHARACTER AND DETAILING

### WINDOWS

Window types, sizes, style, trim and location will be appropriately designed and selected to be compatible with the homes overall design, style and character.

Windows may be wood, wood clad, vinyl, or aluminum.

If used, window muntins must be true or simulated divided lights which are appropriate to the architectural style of the house. Snap-in or removable muntin/grids are not acceptable on any window which is visible to streets or public spaces such as parks, or water features.

Simpler windows without muntins or grids will need to be submitted for review and approval.

Windows will be vertically proportioned and head heights will be in proper proportion to the scale and mass of the house. In general, the typical 6'-8" head height is not appropriate on first floor windows. Under sized, short or 'trendy' multi-arched or shaped windows are not acceptable.

Window size, style and type should be consistent on all sides or facades. Typical brick mould casing will only be used when appropriate to the architecture. Wider casing, head trim or special moulding will be appropriately sized and detailed.

Multiple windows should have a minimum of 4" mullion between the windows.

Bay windows shall only be used if appropriate to the scale, massing, and design of a building. Cantilevered bay windows are prohibited on the “visible” portions of a house.

### SHUTTERS

Shutters must be sized to match the window opening and will be mounted on hinges and held in place with hold backs or shutter dogs located along the bottom rail.

Shutters do not have to be operable but must be mounted with furring strips or blocking to appear operable.

'False' decorative shutters mounted directly to the wall and shutters which do not match the height and ½ the width of the window opening are not acceptable. Shutters for double or grouped windows are not acceptable unless they are actually sized to match the total width of the opening.

### COLUMNS AND RAILINGS

The construction documents must contain details and sections which clearly illustrate the style, components, size, and location of any column, and the relationship to the foundation below and the frieze board or beam above.

The outside face of any column shaft will align with the outside face of the finished frieze board or beam, both on the outside and inside face of the beam. (Note: the finish depth of the beam must be coordinated with the depth of the column shaft.)

The column base is typically larger than the capital and will be, or shall “appear” as solid stone, brick or wood.

Visible aluminum vent blocks are inappropriate and will be discouraged.

The foundation of porch edge must be extended beyond the edge of the frieze board or beam above to allow proper column alignment.

Columns should be made of wood, masonry, or a composite material and properly flashed to allow for a long lasting waterproof condition. (Note: timber columns/posts will maintain the same “alignment” relationship whether the design contains a projected “capital” or not.)

## ARCHITECTURAL CHARACTER AND DETAILING

### DORMERS

Dormers will generally be composed as a secondary architectural element or form used in a functional or nonfunctional fashion to compliment the primary form of the main structure. Rafter bearing heights, overhang dimensions, cornice and rake details should be carefully studied and crafted to comply with the appropriate style.

Dormer roofs may be hipped, gabled, shed, or arched depending on the characteristics of the main house style.

Overly complex or contrived forms, offsets, projections and the resulting roof forms are unacceptable.

In general dormers will be vertically scaled and proportioned and should tightly frame an appropriately sized and styled window. Dormer overhangs and rakes should be tight to the main body of the dormer and should be consistent on all three sides.

### ENTRIES AND PORCHES

The primary entrance (front door) to a home will embody the character, scale, proportion and detail of the overall house and will be appropriate to the architectural style. The entry will be easily identifiable from the street.

A walkway of an approved material will extend from the street to the steps, stoop or porch of the entry. When a porch is not provided, the entry should provide at least minimal protection from the elements.

Over scaled, out of proportion, overbearing or deeply recessed entries are inappropriate.

Porches are encouraged when appropriate to the overall architectural character and style of the home. Porches will serve as either a part of an entry element and/or as an outdoor living space.

Porches which visually appear as 'usable' (wider), will be designed as such with a minimum depth of 7'. The porch scale, proportion, materials, and details will complement the overall architectural character and style of the home.

Side or rear porches or decks in which the floor level is more than 3'-0" above finished grade will have heavy timber or masonry posts or support columns. A solid masonry skirt wall is also appropriate.

### EXTERIOR DOORS

Front entrance doors will be designed or selected to complement the design, style and character of the entry and the overall home's architecture.

Four or six panel wood or ¼ glass with wood panel below are in general appropriate styles. 8'-0" tall entrance doors are encouraged where appropriate to the style and proportions of the house.

6'-8" tall doors with the use of sidelites and transoms must be approved by the ARC, and must be appropriate to the overall entry design.

Metal, molded or full glass french doors are not appropriate for use as a front entrance door.

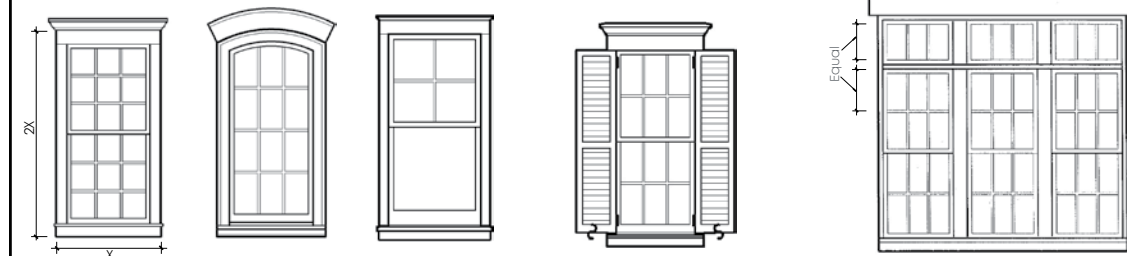
If used, sidelights must match the design of the entrance door.

Transoms must have a minimum glass height of 16" and will be incorporated as a single door/transom unit with continuous casing trim.

Overscaled, two-story or separate transoms are inappropriate.

Storm or security doors are only allowed if the design, material and color match that of the entrance door

## WINDOWS AND SHUTTERS

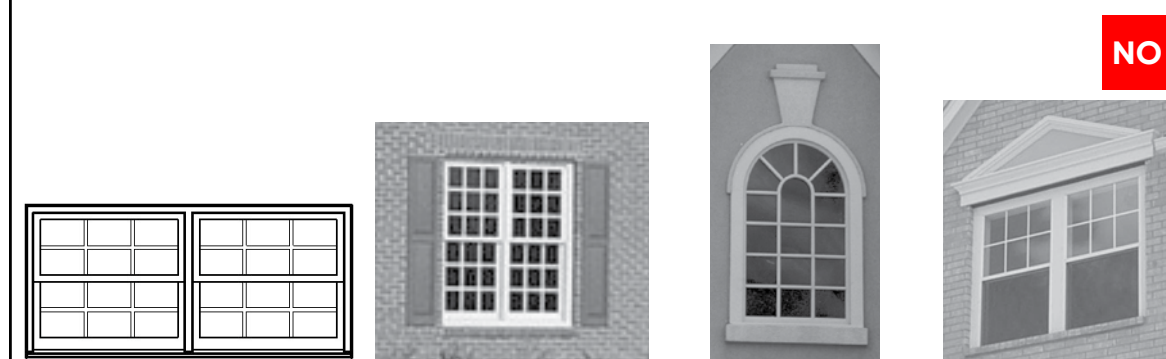


YES

Appropriate vertical window proportions have a desired minimum ratio of 1x wide to 2x high. When divided light or simulated divided light windows are used such divisions shall be appropriate to the architectural design of the building.

Shutters will be sized to match the actual opening size, mounted on hinges and with hold backs located at the bottom rail.

On a divided light window, transom height matches height of light below. Grouped windows should be arranged to maintain a vertical proportion.



NO

Short and wide double hung windows are inappropriate.

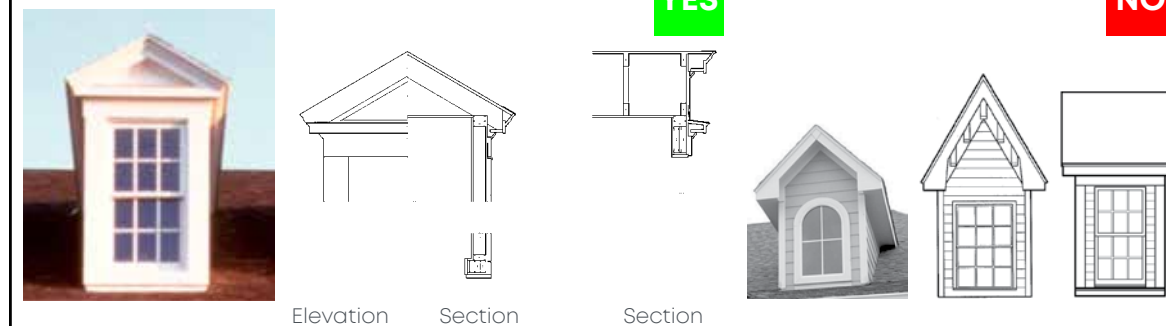
False decorative shutters mounted to wall and do not match the width of opening.

Decorative, overscaled keystones, casing, etc. are inappropriate.

False decorative trim lack relationship to window.

Examples of inappropriate window design and detailing.

## DORMERS



YES

NO

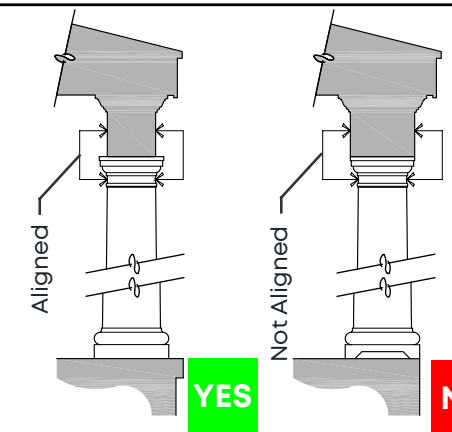
Appropriately detailed and constructed dormers only have very minimum trim material to the sides of the window and the window head and cornice/trim are "tight" to each other. The dormer size is determined by the size of the window and of course the total scale is determined by its appropriate composition in relation to the overall elevation.

Examples of inappropriate dormers due to wrong scale, proportions, roof pitch, and cornice details.

## COLUMNS



An example of an appropriate well detailed column capital, frieze, and cornice.



YES

NO

Outside face of frieze board or beam will align with shaft of column. Column cap will project beyond face of frieze board or beam. A column base will be, or appear as, solid stone, brick, or wood.



YES

NO

Special attention must be made in the construction documents and in the field to assure proper alignment of column and beam.



Columns which are inset or not properly aligned are always inappropriate.



YES

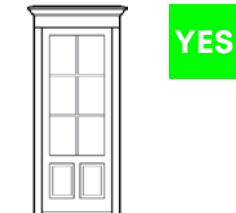
This column is set appropriately on a well detailed brick deck.



NO

Visible aluminum vent blocks are inappropriate.

## EXTERIOR DOORS



YES

8 ft. tall door with appropriate entry surround.



NO

Inappropriate door style with short transom above and typical brick mould trim surround.

# COMMERCIAL

As the residential population and the number of people employed in Haywood County increases, the need and potential for new retail, service and business activity will increase as well. This section of the guidelines informs commercial development patterns and design in anticipation of new investment and reuse of underutilized properties. In support of the resident informed Vision and Goals for Haywood County, retail and commercial development should occur at appropriate scales, embody both traditional and contemporary character, and create an attractive and walkable environment that reflects and connects with the surrounding community.

## General Design Principles

**General Considerations** – Design should consist of well scaled buildings which build upon the community’s architectural traditions while incorporating modern design innovation where appropriate. Buildings should be defined by tall interior spaces with ample transparency along streets and sidewalks. Entrances to all buildings should be clearly established with elevated consideration given to pedestrian access via wide sidewalks. A pattern that establishes internal streets and place making should be given priority within large developments. For signage recommendations, see page 35.

**Usable Open Space** – Commercial development should incorporate usable open space into layout and design. Such open space may consist of wide sidewalks where outdoor dining and retail may occur, plazas for live music and events, and open spaces for informal recreation meant to attract and retain customers.

**Mix of Uses** – Incorporating hospitality, office, retail, and medical uses into an integrated framework of walkable streets and activated spaces results in a more resilient and economically sustainable development pattern while providing a broad range of services and appeal to area residents. Developments defined by buildings and improvements isolated from neighboring uses are discouraged.

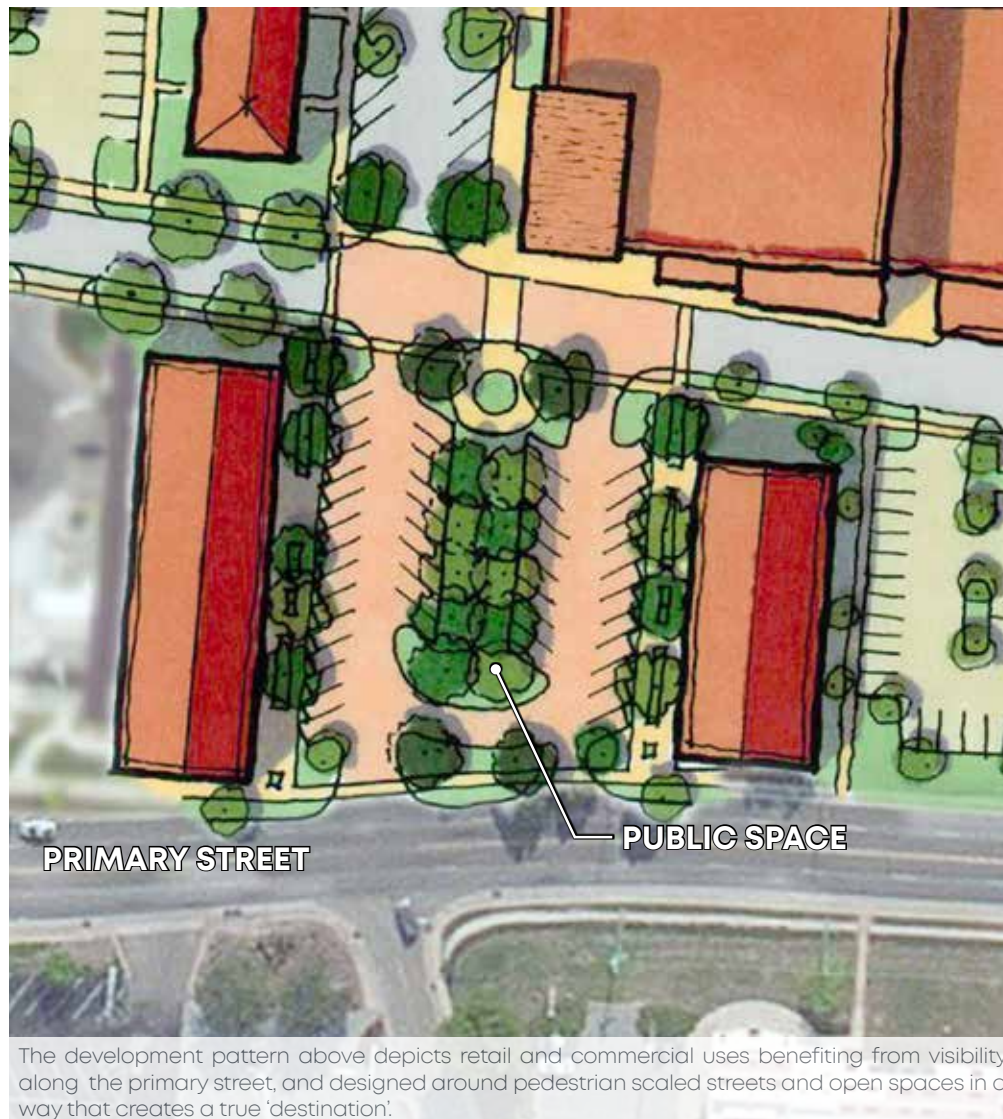
**Off-Street Parking** – Large, open parking lots will be minimized with parking for peak periods accommodated to the side and rear of buildings. Large parking lots should incorporate improved design and circulation principles with internal landscaped drives, sidewalks, and landscape islands serving to divide oversized lots into a series of parking “rooms”. For additional parking lot recommendations, see page 45.



An integrated layout of streets, ample sidewalks, and open spaces working in concert with well-designed buildings and a balanced mix of uses creates a vibrant destination.



This commercial space depicts a simple architectural form of clearly defined storefront bays, space for outdoor dining, and adjacent parking framing an improved green space



The development pattern above depicts retail and commercial uses benefiting from visibility along the primary street, and designed around pedestrian scaled streets and open spaces in a way that creates a true ‘destination’.

## GENERAL PRINCIPLES AND SITE DESIGN

### SUMMARY

Buildings shall have architectural features and patterns that create visual interest, reduce large areas of undifferentiated building facade, and shall include a rhythm incorporating a variety of elements and massing.

Design shall consist of well scaled buildings which build upon the community’s architectural traditions while incorporating modern design innovation where appropriate.

### DIVERSITY

Create places that support a diverse range of employment types, retail, office and other services.

### VARIETY

Vary building scale, densities, and rhythm to provide visual interest while enabling design that builds on local architectural traditions, responds to surrounding context and encourages innovation.

### ENHANCE THE PUBLIC REALM

A hierarchy and network of public and semi-public gathering spaces should be carefully located, sized and interconnected to provide a range of features, activities, and programmable event space for public enjoyment and valued amenity for customers, employees and businesses.

Features that enhance the public realm include space and programming for outdoor cafés, outdoor seating, benches, informal spaces for live music, informal family-friendly lawn games such corn-hole, and other related streetscape elements and uses.

Where possible, incorporate a wide range of arts related uses, arts initiatives and cultural programming.

Provide highly visible public gathering space(s) and a ‘sense of place’ in the heart of the community.

Pole mounted signs are discouraged in all locations

### OUTPARCELS

Outparcel buildings should be used to frame corners, define street edges, and orient traffic toward primary and secondary entrances from public right-of-way.



Buildings address and engage the informal open space via transparency, entrance design and orientation, and outdoor seating.

## BUILDING DESIGN

### BASE, BODY & CAP

Multi-floor buildings should incorporate a three-part hierarchy of base, body, and cap.

The “base” of the building both anchors the building and engages the public realm. The height of the base varies depending on the overall building height. Generally speaking, ground level floor heights should be approximately 14 to 16 feet.

The “body” of the building comprises the middle of the building, mainly defined by its structural composition.

The “cap” of the building shall terminate the “body” of the building. The height of the cap varies depending on the overall building height. On shorter buildings the cap may simply consist of the roof structure, eaves, and cornice trim.

The transitions from base, body, and cap may be expressed through a shift in plane, a change in building materials, or architectural elements.

### RHYTHM

Building facades shall be comprised of a series of patterns that create an inherent rhythm, generally by utilizing symmetry, repeated bays with expressed structural elements, and the repetition of windows and doors.

Multiple storefronts within the same building should be visually compatible in terms of scale, alignment and general storefront design.

Expression of architecture or structural bay through a change in plane no less than 18 inches in width such as an offset, reveal or projecting rib is preferred.

### COMPOSITION

Building facades are typically divided into repeated bays ranging from 15 to 30 feet in width on the ground floor. Upper stories should be consistent across two, three or five bays, unifying the building as a whole.

Rhythm should relate in some readily understandable manner to the allotted tenant spaces. Breaks in the building line may be achieved through offsets, dormers, gables, or towers, pillars or posts, windows, decorative cornices, first-floor colonnades, port-cocheres, porches, porticoes, arcades, and terraces.

Building facades shall not be greater than 45 feet in width without building wall offsets, including projections, recesses, and vertical breaks.

The minimum projection or depth of any individual offset shall not be less than 12 inches and shall occur at least every 40 linear feet of the building’s facade.

### VERTICAL ALIGNMENT

Setbacks, reveals, and projections in the vertical plane of the building facade should be used to enhance the legibility of the composition.

Symmetrically arranged, upper floor windows should be vertically proportioned and consistent with rhythm and composition of bays along the ground floor.

Aligned organization of bays and rhythm should be carried to the upper floors to emphasize overall verticality and maintain a balanced composition.

### HORIZONTAL ALIGNMENT

Building cornices, sill heights, floor levels, decorative moldings, and windows should be carefully designed to align so that there is a general consistency within a single building.

Building heights should be generally consistent along a streetscape. However, variability in parapet heights may be employed to break facades of excessive length and when paired with other compositional techniques.



This image shows a building that incorporates a three-part hierarchy of base, body, and cap.



Vertically aligned openings from one floor to the next makes for a cohesive and balanced facade fenestration.



Commercial corner condition design allows this building to address the primary street and adjacent parking lot.



# COMMERCIAL



The building engages the front sidewalk, incorporates good transparency, a clearly defined primary entrance, and well proportioned signage and pedestrian scale lighting.



Building has a simple rhythm of retail bays, massing and well-defined entrances and excellent degree of shopfront transparency.



The forecourt in this image serves to provide a defined unified facade as viewed from the street, a unique retail address, and public space suitable for outdoor dining or as a focal point.



Office building incorporates a simple rhythm of bays and recesses to break up a lengthy facade. Canopy enhances primary entrance; appropriate ground and upper floor transparency.



This image depicts an appropriate rhythm, breaking up of the horizontal plane, use of awnings, and a single blade of parking in front of the retail center.

## BUILDING DESIGN

### MASSING

When existing buildings are renovated, they shall extend the parapet vertically where appropriate. Renovations may consider adding another story to achieve a stronger multi-story presence. This may also be achieved by partially extending the entrance massing.

Buildings shall be composed of simple volumes and avoid overly complex massing.

Buildings shall not have long uninterrupted walls or roof planes along streetscapes, limited to a maximum length of 60 feet.

All entrances to a building shall be defined and articulated by utilizing lintels, pediments, pilasters, porticoes, porches, overhangs, railings, balustrades and other details that are appropriate to the architectural character and style of the building.

### BUILDING ORIENTATION

Buildings shall be located and configured such that their primary entry and facade face the primary street or adjacent public space.

At corner conditions, buildings are encouraged to allow for entrances on both street and/or public right-of-way facades.

### FENESTRATION

Building openings shall generally stack in alignment above other openings and solid areas in the facade shall stack above structural elements.

Upper story windows shall generally align from one level to the next. Unifying patterns shall include a common window lintel and sill line, as well as aligned vertical centerlines.

Window sashes and trims shall be painted in accent colors that coordinate with the storefront below and other architectural details on the building facade.

Upper windows shall not be blocked or covered from view with any mechanical/ventilation equipment or other non-transparent materials.

Window spacing shall be consistent and balanced on a single facade. Windows shall generally be equally distributed across the face of the building.

### TRANSPARENCY (GENERAL)

Ground floor commercial uses, such as retail and restaurants, shall be more transparent than office or residential uses. This serves to improve the overall streetscape experience for passersby and entices customers to engage with the window display or storefront merchandising.

Ground floors of commercial buildings (non-storefront) should be designed with 60% to 75% transparency, excluding doors and service areas.

The upper floors of commercial and mixed-use buildings should have 20 - 65% openings and/or transparency.

Ground floor windows shall incorporate a high visible transmittance value (37% or greater) and low daylight reflectance (15% or less).

Colored or mirrored glazing and glass block are prohibited.

To the extent possible, transparency shall be maintained by incorporating space utilization, within the building, that does not lead to the need to install blinds or other coverings at the interiors of ground floor windows and doors. Spaces not appropriate for view from the exterior should be placed at the interior of the use, leaving the spaces behind the storefronts largely open and visible to passersby.

### STOREFRONT TRANSPARENCY

Ground floor retail, under 15,000 gross leasable sq. ft., shall have between 65%-85% transparency as measured from the grade to the interior ceiling level where facing public right-of-ways or usable open spaces.

## SPECIAL CONDITIONS

### TERMINATING VIEWS

Buildings located at the termination of view corridors, vistas or street axes shall emphasize prominent features such as increased height, massing, and ornamental elements as the focal point of the view.

Such buildings shall avoid aligning the driveways, service areas, or blank walls with the terminating vista or axis, wherever possible.

### CORNER AND MULTIPLE FRONTAGES

Buildings on lots with two or more facades visibly exposed to the street or common open space shall be designed specifically to respond to these more prominent locations.

Architectural character, materials, and detailing shall continue from the front facade around the corner to the corner side facade appropriately addressing both primary and secondary street frontages.

The building shall generally be located parallel to the primary street.

Location of primary entrances on or near the corner is encouraged. Canopies, awnings and design elements that wrap around the corner are appropriate.

## STOREFRONT DESIGN

### GENERAL DESIGN PRINCIPLES

Retail space storefronts shall be part of a harmoniously designed building facade, contribute to the overall pedestrian and customer experience and enhance the business district's unique identity and integrity.

Multiple storefronts within the same building shall be visually compatible in terms of scale, alignment, and general storefront design, and distinguish between various shops using color, signage, and awnings.

Storefronts shall maintain a typical rhythm at the ground level, each with its own entry.

Storefront entrances should be clearly distinguished from those serving the floors above.

### TRADITIONAL DESIGN

Storefronts should be designed with elements found in traditional retail design, such as large horizontal display windows with kick plates below, clerestory windows above, appropriate awnings, and signs.

Residential windows shall not be used on commercial shopfronts.

### CONTEMPORARY DESIGN

Contemporary storefronts should be compatible with traditional design approaches including maintaining the pattern of building elements such as location of doors, windows, and bays.

Where appropriate, folding or sliding doors or other operable windows shall be implemented to open the business activity to the sidewalk.

### AWNINGS AND CANOPIES

Awnings of commercial establishments shall be made of fabric material such as canvas, exclusive of structural members. Awnings may be retractable with a mechanism fully capable of being operative on a daily basis if desired.

Operable and open-ended awnings are encouraged; rounded and hooped awnings are discouraged.

Canopies of commercial establishments shall be made of high quality fabric, metal, or glass and be supported by metal rods, wires, cables, or brackets.

Tenant signage on canopies and the aprons of awnings is encouraged.

Awnings and canopies shall have a maximum projection of 10 feet from the building facade.

Awnings and canopies shall have a clear height of at least 8 feet.

### REFUSE STORAGE AND COLLECTION

All outdoor containers shall be visually screened within a durable, noncombustible enclosure, so as not to be visible from adjacent lots or sites, neighboring properties or streets. No collection areas shall be permitted between a street and the front of a building.

Collection enclosures shall be designed with finishes and colors which are unified and harmonious with the overall architectural theme.

Collection areas shall be located upon the lot so as to provide clear and convenient access to collection vehicles. Refuse collection and recycling areas shall not be located within parking areas or required landscaped buffers.

Storage and compaction of waste material inside a building at the service area may avoid the need for screening.

The size and capacity of all storage facilities shall be based on the size and capacity of bins and/or dumpsters utilized, frequency of pickup and projected generation rates of users of the site.



Bollards, street trees and a high degree of ground floor transparency result in a comfortable and engaging space.



Appropriate dooryard for a Live-Work unit.



Acceptable signage and facade design.



A high degree of ground floor transparency and ample sidewalk space allow for commerce to connect pedestrians and passers-by with the interior spaces. Display windows should be internally illuminated with light sources not visible from the exterior of the building.



Storefront entrance is clearly distinguished from those serving the floors above.



Consideration will be given to alternative storefront designs including the use of folding or sliding doors.



Ground floor transparency and composition is differentiated from but sets the rhythm for the floors above..

# MULTIFAMILY

The incorporation of multi-family and senior living home options will better ensure a wide variety of housing types are available within the community. To better ensure the character and form of multi-family and senior living development embodies the values and goals of the community, the scale, character and qualities of new development should be carefully considered. By incorporating multi-family and senior living opportunities as integral components of Haywood County's growth, these investments will serve to help the community achieve stated goals and vision.



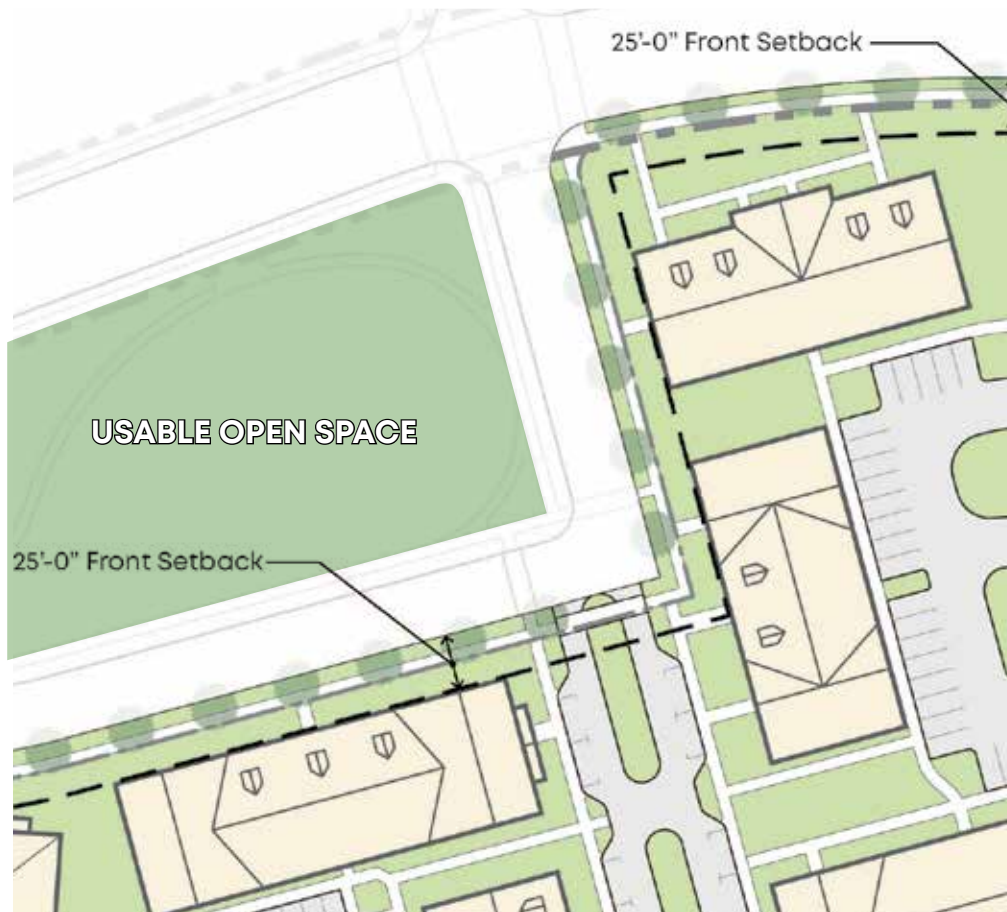
Buildings engage the public realm and help define the character of adjoining walkable streets. Both ground floor flats, stoops, porches and shared entrances are directly accessed from the sidewalk. Some parking is accommodated via on-street parking.



Multi-family homes come in a variety of forms which appeal to different lifestyles and market segments. The units above include integrated parking and two levels of living space, similar to a townhome. Variety in style and amenities are encouraged. Note that integrated, tuck-under parking should NOT face a public street.



The building addresses the neighborhood green and porches and stoops provide direct access for residents to the park space. Dormers, returns, porches and shutters are appropriately sized and scaled. Highly visible and usable open space is a critical feature of this approach.



Buildings and homes face, engage with and frame both public roads and private drives creating pedestrian scaled, walkable streetscapes. Off-street parking is located to the rear of buildings. A variety of adjoining uses may line the street resulting in a vibrant mixed-use neighborhood.

## GENERAL DESIGN STANDARDS

### LANDSCAPING AND SCREENING

Plant suitability, maintenance and compatibility with site and construction features are critical factors which shall be considered. Plants shall be nonexotic, noninvasive and drought-tolerant and to the best possible xeriscape.

All ground level HVAC equipment and utility service boxes shall be suitably buffered and screened to minimize views of the same from both within the site itself, as well as from adjacent and nearby properties and public rights-of-way.

Where a masonry wall or solid wooden fence is utilized, the design of such shall be architecturally compatible with the style, materials, colors and details of the building(s) on the site. Chain link fencing is not permitted.

Fencing located between the building and street is strongly discouraged. Where fencing is located between the building and the street, fence design recommendations located on page 23 are acceptable.

Where an evergreen screen is utilized, such plantings shall be in a continuous row and may be overlapped or staggered within such row.

### LIGHTING

Well-designed soft lighting of the building exterior shall be permitted, provided that the lighting complements the architecture. The lighting shall not draw inordinate attention to the building.

For all mixed-use and multifamily lots, all areas between buildings, along walkways, active recreation areas, driveways, parking lots and loading areas shall be adequately illuminated to ensure security and safe pedestrian and vehicular circulation.

See recommended lighting standards page 35.

### OPEN SPACE, AMENITIES, & BUFFERS

Attached dwelling developments shall provide extensive sidewalk and trail systems linking to surrounding street networks, greenways, and public parks.

To provide informal surveillance, a sense of safety, and encourage a sense of 'ownership' of amenities and open spaces by residents of the development, porches, entries, and windows of surrounding buildings shall be designed to orient towards streets and usable open space.

Streetscape elements (e.g. benches, trash receptacles, light fixtures, bollards, mail boxes, fountains, bicycle racks, etc.) included within an attached or multi-family residential development shall be compatible with the architectural features of the structures, and shall help to establish a unifying theme throughout the site.

Landscape buffers are encouraged at the side and rear of sites.

### PARKING, CIRCULATION, AND CONNECTIVITY

Garages, carports and parking lots should not face public or primary roads and must be hidden from view of the public realm and primary frontages by their location on site preferably and by opaque screening.

Locate parking within close proximity to the building it is intended to serve.

Where a building is situated along a public street, a minimum of one shared entrance shall be provided.

Site design and layout shall take into consideration the creation a safe pedestrian path for children to reach nearby schools and/or bus stops (existing or proposed).

Site design and layout shall incorporate safe and comfortable internal pedestrian circulation permitting residents to access all private amenities and services.

Refer to general parking principles on page 45.



## GENERAL DESIGN STANDARDS

### BUILDING ORIENTATION

Buildings shall be located and configured such that their primary entry and facade face the primary street or adjacent public space.

At corner conditions, buildings are encouraged to allow for entrances on both street and/or public right-of-way facades.

### MASSING

Porches and balconies are encouraged when appropriate to the overall architectural character and style of the building design. Porches shall serve as either a part of an entry element and/or as an outdoor living space.

Buildings shall not have long uninterrupted walls or roof planes along streetscapes, limited to a maximum length of 60 feet.

All entrances to a building shall be defined and articulated by utilizing lintels, pediments, pilasters, porticoes, porches, overhangs, railings, balustrades and other details that are appropriate to the architectural character and style of the building.

All sides of a building shall be architecturally designed to be consistent with regard to style, materials, colors and details. Blank wall or service area treatment of side and/or rear elevations visible from public view shall be prohibited.

Buildings shall be designed utilizing base, body and cap forms as the primary method relating buildings to each other (see page 29). While a high degree of transparency is encouraged, minimum ground floor transparency requirements for commercial and mixed-use buildings do NOT apply to residential buildings.

Refer to Architectural Character and Detailing on pages 26 and 27.

### FENESTRATION

Building openings shall generally stack in alignment above other openings and solid areas in the facade shall stack above structural elements.

Upper story windows shall generally align from one level to the next. Unifying patterns shall include a common window lintel and sill line, as well as aligned vertical centerlines.

Window sashes and trims shall be painted in accent colors that coordinate with the storefront below and other architectural details on the building facade.

Upper windows shall not be blocked or covered from view with any mechanical/ventilation equipment or other non-transparent materials.

Window spacing shall be consistent and balanced on a single facade. Windows shall generally be equally distributed across the face of the building.

### REFUSE STORAGE AND COLLECTION

Outdoor containers should be located away from homes and usable outdoor spaces to the greatest extent possible while remaining compliant with other design recommendations and requirements.

For additional recommendations and requirements, refer to 'Refuse Storage and Collection' on page 31.

### LOW IMPACT DESIGN

Buildings and site improvements should be designed to minimize changes to existing topography and minimize stormwater run-off. Additional considerations:

- Pursuit of LEED or similar site and building certification
- Water and energy efficiency (Energy Star and WaterSense certified products and services)
- Filtering stormwater runoff; collection and reuse of rainwater for irrigation
- Dedicated on-site separation and collection of recyclables



Ground floor entrances include appropriately scaled stoops with direct access to the public street. The ground floor is elevated above the sidewalk; accessibility is provided via a separate entrance. Columns, returns, dormers and details such as shutters are of appropriate scale and design.



Where buildings are located along a street, shared access shall be provided to the public sidewalk. Street access to individual units is encouraged. Windows, porches, balconies and stoops, where appropriate to the architectural style should face the street and/or usable open spaces.

# INDUSTRIAL

Contemporary industrial operations typically require ample space, multiple points and means of access, as well as utilities and public services. Haywood County anticipates new and continued growth of industrial uses at various locations. Site layout and building design should incorporate the basic principles approach and recommended standards identified in the guidelines to better ensure new industrial development embodies the goals and vision of the community.

Development should seek to minimize adverse impacts to surrounding natural habitats, general environment, and farm and agricultural operations. With consideration of the Hatchie River and the important role it plays in the culture and identity of Haywood County, new industrial development and operations are strongly encouraged to minimize the effects of runoff on the existing volume of water or quality of any water body.

As a part of the site plan review, it is recommended that the applicant submits a statement that includes an explanation of the following:

- The type of raw materials, waste products, and other by-products associated with the industrial operation or processes.
- The identity of all chemicals and solids to be discharged into the sewage system.
- The type and amount of traffic expected to be generated by the operation.
- The proposed hours of operation.
- The proposed architectural design of all structures.
- A site plan which includes features intended to reduce the impact of buildings and operations on the surrounding environment.



Preserve and supplement existing vegetation where possible to screen industrial uses from adjacent development and streets. Masonry walls along with low canopy trees, shrubs, and flowering plants can be used to signify and enhance entry points.



This warehouse has a clearly defined entrance enhanced by landscape design. Fenestration and architectural elements help to break up the overall massing and lowers the scale of 'the wall'.



The warehouse above uses materiality and simple forms to break up the massing of the overall structure and provide additional screening. Stormwater is incorporated into the surrounding landscaping.



This industrial building features a clearly defined entrance which also serves to break the mass, materials that emphasize both hierarchy and base while providing human scale, vertical orientation of windows and appropriate monument signage and landscaping.

## GENERAL STANDARDS

### SCREENING

Screening where industrial uses abut residential districts or a primary, scenic, or secondary road.

Required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses.

Required on sites which involve loading or unloading (including the storage of vehicles and boats), trash, or disposal areas and where accessory buildings and structure are adjacent to residential properties.

Where exterior storage areas are visible from roadways, sidewalks, or nearby residential properties.

Landscaped screens shall be designed to complement other landscaping occurring naturally on the site, within the scenic road buffer, planted previously, or approved as a part of the site plan review. Wherever possible, existing vegetation and landforms shall be used to create screens.

Landscape that is integral to a screening requirement or buffer is subject to irrigation requirements.

Any diseased or dead landscape that is integral to a screening requirement or buffer must be replaced by the start of the following growing season or recommended period for planting.

Screening shall consist of trees and plants and may include masonry, or wooden fencing used with or without berms. Screening shall consist of a functional and well-designed combination of the following: vegetative ground cover, coniferous and deciduous shrubs, and coniferous and deciduous trees.

Plant palette and improvements shall be designed and implemented in such a way as to provide year round screening.

Natural slopes and existing vegetation are encouraged to serve to screen the area from adjoining properties and roadways.

### LIGHTING

Lighting on the site shall be designed to avoid glare onto adjacent properties.

Lighting on the site shall be sufficient to provide for the safety and security of the business, its employees, and its customers.

See recommended light design standards page 35.

### BUILDING ORIENTATION AND ACCESS

Buildings shall be located and configured such that their primary entry and facade face the primary street and are easily identifiable.

Loading and unloading spaces shall not block the passage of other vehicles on the service drive or major pedestrian ways or create blind spots when trucks are loading or unloading.

Parking shall not be permitted in the required front yard.

The front yard shall be landscaped and shall be maintained in a neat and attractive condition.

Sites shall be designed to discourage pedestrians and vehicles from sharing the same pathways.

Where property abuts a primary, secondary, or a collector road, access to the property shall be by way of the secondary or collector road.

# GENERAL DEVELOPMENT STANDARDS

## STORMWATER

### STORM WATER DETENTION / RETENTION AREAS

Where site run-off requires detention/retention areas, the area shall be designed as an open space amenity and landscaped accordingly (see below).

In general, peak run-off rates at the borders of a site shall not exceed predevelopment rates.

Where downstream ditch conditions or stream capacity would be overtaxed by run-off from present or planned development, and where run-off cannot be absorbed on site, detention areas shall be created to slow run-off.

Wetlands, which are important for storm water retention, shall be maintained in an undisturbed form.

Storm water entry and discharge points shall be protected to minimize erosion, and to avoid simply relocating a problem to upstream or downstream properties.



Appropriate design and landscape for stormwater basins.



A more 'natural' approach to stormwater management.



The preferred stormwater management design identified in the Community Vision Survey depicts a space that may also serve as a neighborhood amenity.

## LIGHTING DESIGN

### ILLUMINATION AND LIGHT LEVELS

Illumination of streets, sites and buildings is critical to safety and comfort. However poor design and implementation of lighting plans will result in excessive light pollution and negatively impacting environmental quality and experiences in Haywood County. To that end, adherence to Dark Sky compliant design and fixtures is strongly recommended.

Buildings shall not be excessively illuminated such that the entire facade is "washed out" by bright light.

All exterior illuminating devices should cast light primarily downward (IESNA Cutoff and Semi-cutoff) and should have lamp source shielded from direct view.

Glare shields and cutoff devices shall be used to prevent throw onto adjacent properties.

Light sources shall be shielded or arranged to minimize unnecessary glare for pedestrians and cars.

'After-hours' lighting that illuminates storefronts while contributing to a comfortable nighttime pedestrian experience is encouraged. Overnight lighting should be studied to determine necessity and compatibility with neighboring properties.

Exterior lights should be on photocells or timers.

Fixtures used for architectural lighting, such as facade, feature, and landscape lighting, should be aimed or directed to preclude light projection beyond immediate objects intended to be illuminated.

Lighting levels should meet the IESNA standards for Security Lighting of Public Spaces. Lighting levels shall not exceed 100% of the recommended values.

The following shall be used as guidelines for maximum average lighting levels:

Residential pedestrian areas	0.2 fc avg.
Residential driveways and parking	0.4 fc avg.
Non-residential pedestrian areas	0.9 fc avg.
Non-residential driveways and parking	0.9 fc avg.

Sidewalks and canopies may have higher lighting levels, where recommended by IESNA standards, but in no case should they exceed 20 foot-candles.

LED is preferred; metal halide, color-corrected mercury-vapor, and color-corrected high-pressure sodium lamps may be acceptable alternatives. Low-pressure sodium and fluorescent tube lighting should not be permitted along street frontage.

Lighting source shall have a color temperature between 2,700K and 3,500K with a color rendering index of at least 65.

Maximum lamp wattage should not exceed the following:

Mounting Height	HID lighting	LED lighting
< 12' mounting height	175 watts	100 watts
12-20' mounting height	250 watts	150 watts
> 20' mounting height	400 watts	240 watts
Maximum total per pole	1000 watts	600 watts

Certain development standards shall apply to all forms of development from industrial, to commercial, to residential and within all areas of Haywood County from Four-Ways to the Courthouse Square in Brownsville. Appropriate lighting and stormwater detention recommendations serve to address the community's goals and vision as related to environmental qualities and community resiliency.

Signage recommendations are meant to inform the impact signage may have on the visual environment while enabling commerce and wayfinding.

These recommendations represent a balance drawing from best practice examples found throughout the region while better ensuring new signs incorporate the architectural design of the primary building in a way that is still 'uniquely Haywood County'.

## SIGNAGE

### GENERAL PRINCIPLES

Signage as it appears in photos in this document is generally acceptable by subject to review and consideration by the review body.

Pole mounted signs are discouraged in all areas of Haywood County.

Pedestrian level adhesive window graphics and paint are permitted at a small scale and may not cover more than 25% of the window opening.

Blade signs may be considered where they add to the character of the streetscape and the creative design of storefronts, buildings and wayfinding.

Signs shall be proportionally sized to the design of a storefront, building or mounting surface.

Internally illuminated sign panels are discouraged.

L.E.D. light sources, rope lighting, active display screens and non-nondescript neon tubing are discouraged. For additional consideration for neon tube signs, see below.

Neon tube signage may be appropriate where incorporated into innovative signage, is in keeping with the overall architectural character and is an integral component of a buildings design.

### MONUMENT SIGNS

One monument sign per each collector street is preferred.

Signs shall not exceed 72 inches in height as measured from the finish grade and 32 sq. ft. in sign area per side.

Preferred landscaping around the base of a monument sign consists of evergreen and deciduous shrubs and seasonal flowering colors.



*THIS PAGE INTENTIONALLY LEFT BLANK*

# TOWN AND CITY



Haywood County is home to numerous communities, both similar and unique by various measures. Brownsville and Stanton are identified in the publicly informed Protect and Grow map as being most suitable for an incremental development pattern that accommodates and reflects the style and character of existing homes, businesses and neighborhoods. Development in these areas is likely to be more urban in form, occupying smaller footprints with the types and intensities of uses synonymous with vibrant towns and cities.

GATEWAYS AND CORRIDORS	38
DISTRICTS	40
NEIGHBORHOODS	41
INFILL	42
TOWN CENTER / COURTHOUSE SQUARE	43
LIGHT INDUSTRIAL / MAKER SPACES	44
GENERAL PARKING STANDARDS	45



# GATEWAYS AND CORRIDORS

A limited number of Primary roads and highways serve to connect both Brownsville and Stanton to the wider county and region. These roadways in turn act as important gateway corridors, the quality and character of which help define the character of the individual communities. As such, residents and business owners envision these locations as deserving of additional attention and levels of investment. Noted gateway corridors include Hatchie Street/Anderson Avenue, Jefferson Street, Main Street (east and west), Washington Avenue/Thornton Road and Grand Avenue in Brownsville. Covington Street, Highway 79, Lafayette Street and Main Street were defined as gateway corridors in Stanton.

Close coordination between public and private officials offers the opportunity to implement a common set of improvements in these areas as part of a holistic approach to design and place-making. This approach permits an incremental approach to improvements within the overall corridor while ensuring consistency over time.

Absent corridor specific design recommendations, the guidelines defined in this section may be used to inform development along the corridors as defined in the Protect and Grow Map and noted above.

## General Design Principles

**General Considerations** — Design, layout and character should seek to follow the recommendations located throughout this document as applicable to specific uses and sites.

**Public Realm and Streetscape** — Improvements within the public realm including lighting, landscape, sidewalks, paving materials, street furniture, and location of drives and access should reflect a unified design approach as defined by gateway corridor specific plans.

**Improved Access** — Elevated consideration should be given to the design and character of access points and parking. As infill and redevelopment occurs, shared parking resources and associated easements and entitlement agreements are strongly encouraged.

**Mix of Uses** — Incorporating a variety of uses into an integrated framework of walkable streets and activated spaces results in a more resilient and economically sustainable development pattern while providing a broad range of services and appeal to area residents. Developments defined by buildings and uses isolated from neighboring uses are discouraged. Where appropriate, general use type defined in this document, excluding large scale industrial development, may be appropriate.



Example of a corridor and gateway improvements plan focused on a major road leading into a community. Improvements differentiate between public investments within the existing right-of-way and those that seek to redevelop vacant, underutilized or otherwise blighted private property.



This image depicts the recently completed streetscape enhancements on Main Street in Brownsville. 'Next Steps' along this gateway corridor should include working closely with property owners to create a holistic, pedestrian friendly street.



Landscaped medians may be used as a gateway feature or a unifying improvement throughout a corridor that serves to slow traffic and improve pedestrian safety. Scale, material, lighting and plant types should be closely coordinated.



Appropriate selection of street light fixtures, furniture, materials, landscape, signage and branding work to create a unified corridor.



Appropriate curb extension, planters, street light fixtures, and building relationship to the street all serve to create a special moment and together help form a 'gateway' on an existing corridor.



NACTO - Curb Extensions reduce pedestrian crossing widths at intersections.



Texture-Pavement at Intersections



'Continental' crosswalk striping enhances safety and visibility at key intersections.

# STREETSCAPE

## STREETSCAPE GUIDELINES

### TEXTURE-PAVED INTERSECTIONS

Crosswalks shall measure 6 to 10 feet in width.

Contrasting pavement treatments and/or colors shall be considered so that they clearly define the crosswalk and the intersection. The intersection may include a mural drawing that is representative of the entire community.

The pavement treatment may consist of brick pavers, stamped pavement, or applied thermoplastic or polymer coating to replicate a brick pattern over the existing asphalt pavement.

Materials shall be environmentally safe, durable, salt and oil proof, slick resistant and easy to be repaired.

Raised pavers shall be designed so as not to interfere with snow removal equipment and not represent a tripping hazard.

### “PAINTED” CROSSWALKS

Continental or ladder crosswalk markings are encouraged.

Crosswalk markings shall measure 8 to 12 feet in width, with each individual stripe measuring 2 feet in width, spaced 2 feet apart.

Crosswalk markings shall extend to the edges of the roadway or the intersecting crosswalks.

Spacing of the crosswalk markings shall be carefully located to avoid the anticipated wheel path of automobiles.

Thermoplastic tape is encouraged as opposed to paint or spray paint.

### CURB EXTENSIONS

Curb extensions shall be provided at street intersections serving as a gateway and, where appropriate, may be provided mid-block serving as a pinch point.

Curb extensions may be designed as islands to include a cut-through to accommodate bicyclists and/or drainage.

The width of a curb extension shall be at least 6 feet but shall not extend into the travel lane or bicycle lane.

The length of a curb extension shall be the width of the crosswalk but may be extended to 20 to 25 feet to define on-street parking near the intersection.

### OTHER CREATIVE USES

Curb extensions also increase the available space for enhanced landscaping and other public amenities such as:

- Enhanced handicap-accessible crossings
- Additional public space with lighting, signage, outdoor seating, benches, and bike racks
- Additional street trees
- Planting beds with drought- and salt-tolerant plants
- Green infrastructure elements such as rain gardens, permeable paving or bio-retention basins to reduce sewer overflow events

### SIGNAGE

Gateway signage may consist of monument signs and shall adhere to size, graphic and illumination recommendation associated with “Signage” located on page 35.

### SIDEWALKS

Sidewalks should be located along all streets (where appropriate by street type) and main access driveways, and shall be continuous across all driveways.

Sidewalks should be designed to provide logical connection points with adjacent properties, to engage and enable active public space and accessible pedestrian travel

Residential sidewalks shall be a minimum of 4 feet in width; 5 feet is preferred.

Where commercial and mixed-use buildings are located adjacent to a public sidewalk, said sidewalk shall be between 15 and 20 feet wide as measured from the face of curb and should incorporate street tree plantings in either open planting beds or covered tree wells at appropriate spacing. See section and plan below.

Sidewalks should be divided into 3 zones based on their planned width:



### ON-STREET PARKING

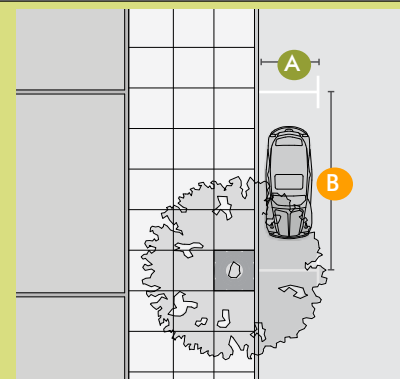
On-street parking helps narrow the travel width of the roadway, therefore reduce traffic speeds by narrowing the perceived travel lane for motorists.

On-street parking should be provided and clearly marked and signed to increase the available parking pool and to create a barrier between pedestrians and vehicular traffic.

Alternate materials may include different colored and/or texture-paved surface treatments and markings.

Adjacent on-street parking may be counted toward the required parking for a particular site or use.

### PREFERRED ON-STREET PARKING DIMENSIONS



Streetscape improvements and furnishings including seating, landscape, bollards, waste receptacles, mailboxes, bike racks, and street light fixtures should serve both a functional role as well as unifying design elements. Placement should take into account pedestrian and vehicular paths of travel to create a comfortable and safe experience. Individual developments should identify those elements that correspond with the character of buildings and site improvements. Corridors and gateways should identify a ‘palette’ to inform public and private improvements.



Tree well and grate. Street trees should be planted every 40 linear feet on average.



# DISTRICTS

Districts consist of development that occurs on larger undeveloped or underutilized sites within or near built-up areas of Haywood County. District footprints may be considered developments large enough to consist of multiple buildings and a variety of uses. While not a required area standard, such sites may consist of as little as 5 acres or be measured in hundreds of acres. Districts are an important aspect of investment in the existing community as they are most adept to accommodate uses that often require larger ground floor footprints such as grocery stores, wellness centers, movie theaters, and meeting and event spaces. As they are located within or in close proximity to already built-up areas, Districts are more likely to have access to utilities and services such as water, power, sanitary sewage and waste management common to more urbanized areas.

A design that incorporates commercial, shopfront and residential use types is encouraged. Buildings that include a vertical mix of uses, such as residential over ground floor commercial space, are also appropriate. Special consideration should be given to ensuring the mix of buildings, home types, and densities are woven together within a pedestrian friendly street network which incorporates the preferred qualities and character noted throughout this document. Development which does not include a mix of commercial, shopfront and residential uses should not be considered a District.

Building heights should be sensitive to existing surrounding and nearby buildings. Please refer to density/floor area ratio (F.A.R.) ranges and height limit recommendations for various development and use types.

The density and building heights noted below are not prescriptive in nature but offer ranges against which proposed development may be compared. Building heights are for informative purposes only and will be subject to local building codes and safety regulations.

## DENSITY RANGE & HEIGHT LIMIT RANGES

Residential	Units Per Acre*	No. of Floors / Feet*
Single Family Detached	1-12 units per acre	3 Floors / 35 feet
Single Family Attached	8-16 units per acre	3 Floors / 45 feet
Live/Work	8-16 units per acre	3 Floors / 45 feet
Senior Living	8-30 units per acre	4 Floors / 50 feet
Multi-Family	18-30 units per acre	6 Floors / 70 feet
Commercial	Floor Area Ratio	
Office	.25 - 4 F.A.R.	7 Floors / 90 feet <sup>1</sup>
Retail	.25 - 1 F.A.R.	2 Floors / 30 feet
Other	.25 - 4 F.A.R.	7 Floors / 75 feet
Mixed-Use	.25 - 4 F.A.R.	7 Floors / 75 feet

\* Specific site, position of buildings, topography, surrounding context, location within the community and infrastructure capacity should be taken into consideration when identifying appropriate building heights.



Retail and Office incorporating appropriate transparency and design within a District scale development. Appropriately scaled awnings aid in clearly defining the primary entrance.



Mixed-Use buildings: Office over Retail (left) and Residential over Commercial (right).



Mix Of Uses: Retail (foreground), Healthcare (above right), Multi-family (top center).



Single family residential framing open space: single family detached (left), single family attached (right).

## DESIGN STANDARDS

### INTERCONNECTIVITY

Interconnectivity between tracks, parcels, and uses via public and private streets, drives, alleys, sidewalks and multi-use paths should be provided.

A coherent street network that ties all uses, parcels, and tracks together shall be used.

### USABLE OPEN SPACE

Recommended usable open space is based on the size of the site, the features of the land, the types and number of residential units, and the quality of the usable open space. A usable open space ratio of .02 acres per residential unit is encouraged up to 25% of the total developable area of the site. Reductions in the usable open space may be appropriate per the recommendations located on page 23.

### BUILDING DESIGN

Commercial or retail uses may be incorporated into the ground floor of multi-family buildings resulting in a mixed-use development. Where this occurs, shopfront design standards shall be applied to the commercial frontage.

### PARKING LOT DESIGN

Parking lots should be designed as rooms with landscaping and pedestrian pathways separating smaller parking areas.

Pedestrian pathways between parking area and principal uses should be shaded, comfortable, and safe.

Off-street parking should be located to the side or rear of the primary use.

Providing interconnectivity between parking lots is strongly encouraged.

'Lining' of off-street surface and structured parking with buildings that include ground floor occupancy is encouraged.

Utilizing a shared parking approach is strongly encouraged in Districts. A reduction in required parking may be justified through application of a shared parking calculation for all or portions of the proposed development. Refer to ULI: Shared Parking or similar for standard shared parking models.

Where an off-street shared parking resource is provided, demonstrate anticipated utilization and dedication of parking spaces for each individual use. Easement agreements, access and terms of shared utilization are required upon submittal of building permit application.

See recommended 'Parking Standards' on page 45.

### SCREENING AND BUFFERS

Screening for utilities, surface and structured parking, and loading/unloading zones is required for all uses.

Design of individual uses and buildings shall occur in a way that minimizes the requirement for buffers between uses interior to the District.

Buffers and screening may be required at the side and rear perimeter of a District, specifically where streets do not separate the proposed development from neighboring properties.

Landscape buffers or screening will be required where rear alleys and garages are exposed to usable open space or view from right-of-ways. See recommended Landscape and Buffer standards on page 23.

### SIGNAGE

See signage provisions page 31 and 35.



# NEIGHBORHOODS

## DESIGN STANDARDS

### BUILDING HEIGHTS AND SETBACKS

Building heights and setbacks should consider and respond to existing setback and building heights and patterns of development on adjoining and nearby properties.

While setbacks and building heights internal to a development site shall draw upon existing context to inform design and character, particular attention shall be given to new construction as viewed from existing public streets in relation to existing surrounding building patterns.

### RHYTHM, SEPARATION AND MASSING

New construction, specifically where located along existing public streets, is encouraged to draw upon existing adjoining and nearby building character and development patterns to better ensure that separation between buildings, building massing and architectural character informs new investment.

### SHARED PARKING

See recommended 'Parking Standards' on page 45.

### USABLE OPEN SPACE

See 'Parks and Open Space' on page 23.

### DENSITY RANGE

See 'Density Range' on page 40. Note that while density of specific use types may fall within the ranges defined on page 40, sensitivity to existing building and site design patterns should be given priority.

### Interconnectivity

Interconnectivity between tracks, parcels, and uses via public and private streets, drives, alleys, sidewalks and multi-use paths should be provided.

A coherent street network that ties all uses, parcels, and tracks together shall be used.

Where existing adjacent street stubs terminate at the edge of the existing property, site layout and design shall consider extensions and connections of said streets upon consulting with appropriate planning and engineering staff.

### DRIVE-THRUS

Drive-thrus may be appropriate along primary roadways and corridors where adjoining use is similar in use and is well established. Attention shall be paid to how the building addresses the primary street. Where possible, the building should directly address the street without multiple travel lanes separating the building from the street.



This drive-thru dining location provides vehicular circulation while also creating a pedestrian friendly urban frontage.



Mixed-Use building (left) and a small store (right) are both appropriately scaled and help support a variety of services in existing neighborhoods.



Townhomes incorporating well-designed entry stoops on a pedestrian scaled streetscape.



Live/Work homes provide owners flexibility in the use of the ground floor.



Alley accessed, single family detached homes support an improved pedestrian experience and flexibility to incorporate usable open space.



Garages should be secondary design elements where visible and accessed from the street.



Neighborhood serves to inform developments which may occur within the built-up areas of the Town/City place type depicted in the Haywood County Protect and Grow map. These investments are likely to be somewhat smaller in scale as compared to Districts in terms of footprint as well as the number and variety of proposed uses. In many cases, Neighborhoods may include the development of large parcels, the development of an assemblage of adjacent properties, or redevelopment of large, underutilized parcels.

Development that may be appropriate, dependent on the specific qualities of the site and location within the community, includes residential homes and flats, multi-family development, and investments that describe a mix of uses or true mixed-use approach.

Careful consideration must be given to proposed Neighborhoods due to their potential impact on existing residents and businesses. Neighborhoods should show careful consideration of the surrounding context so as to avoid inserting improvements whose scale, character and proposed uses may prove to be jarring to surrounding homes and property owners.

In particular, building height, setbacks and density should be informed by existing context and residents stated goals which include encouraging investment within the existing community. A careful balance should be struck that enhances outcomes for all stakeholders.

# INFILL

The community's vision and goals describe a preference for a balanced approach to development in Haywood County that includes investment in existing neighborhoods and built-up areas, specifically in Brownsville and Stanton. Infill refers to development and investment which will occur on relatively small parcels within existing built-up areas. This investment can take many forms, be it individual homes on vacant lots in town, a small neighborhood shop, or a mixed-use building on Main Street. As this investment will occur adjacent to or near exiting homes and businesses, it is critical that new construction consider the surrounding context including the character of existing buildings, existing patterns of development and the vision for how residents prefer the area evolve in the coming years.

## General Design Principles

**General Considerations** — The distinguishing quality and character of a street or neighborhood should not be diminished. New construction should be compatible in terms of form, height, size and orientation of surrounding homes. Architectural design and character should draw from and seek to reflect historic styles and precedent where applicable while not attempting to fully replicate details of said styles.

Where setbacks are defined by existing buildings, new development should generally incorporate similar setbacks within the proposed design. New construction should also seek to employ similar roof shapes, parapets, and general massing. New homes should seek to build to similar finish floor elevations and forms as occurs with existing surrounding homes assuming new homes are elevated a minimum of 18 inches above the surrounding grade. Where the majority of existing homes incorporate a front porch as a design element, new home should seek to incorporate front porches as well.

Where new additions or significant exterior renovations are proposed, new construction should seek to correspond with existing design and character of surrounding buildings.

Where located within a existing historic district, refer to the design standards and requirements associated with said district.

**Public Realm and Streetscape** — Coordination with County and municipal planning staff is critical to ensure proposed private development and enhancements to streetscapes and public spaces incorporate planned public investments.

**Improved Access** — Elevated consideration should be given to the design and character of access points and parking. As infill and redevelopment occurs, shared parking resources and associated easements and entitlement agreements are strongly encouraged.

**Mixed-Use** — While infill on existing residential streets should pursue continuation of that pattern, mixed-use development is encouraged on or near primary corridors leading to Courthouse Square in Brownsville and to the historic square in Stanton.



As new investment and development occurs, design should embody the unique character of the surrounding neighborhood while incorporating residents preferred features and qualities.



The new home (on the right) draws upon the architectural scale, quality, materials, massing and relationship to the street of the neighboring home (left). This appropriate infill reflects deference to but not imitation of surrounding context.



Infill, such as this mixed-use building, offers the opportunity to fill the 'missing gaps' necessary to create a vibrant and engaging streets and public spaces.

## DESIGN STANDARDS

### DESIGN, BUILDING HEIGHTS AND SETBACKS

It is strongly recommended that overall building form, massing and orientation shall be compatible with existing adjoining and nearby buildings that contribute to the architectural style and character of the street or neighborhood.

Generally, taller buildings (greater than 3 floors in height) may be more appropriate within the Town/City place type as depicted in the Haywood County Protect and Grow map.

Where setbacks are defined by existing buildings, new development shall generally incorporate similar setbacks within the proposed design.

New construction should seek to employ similar roof shapes, parapets and forms as occurs with existing surrounding buildings and homes.

New homes shall be elevated a minimum of 18 inches above the surrounding grade.

Refer to general design standards as identified throughout this document for the specific use(s) associated with the proposed development.

### INFILL PATTERNS

Consider surrounding uses and patterns in determining the rhythm of the development, separation requirements, and overall building massing.

Consider context and adjacent use types when developing infill, specifically historic buildings and/or those buildings of architectural significance.

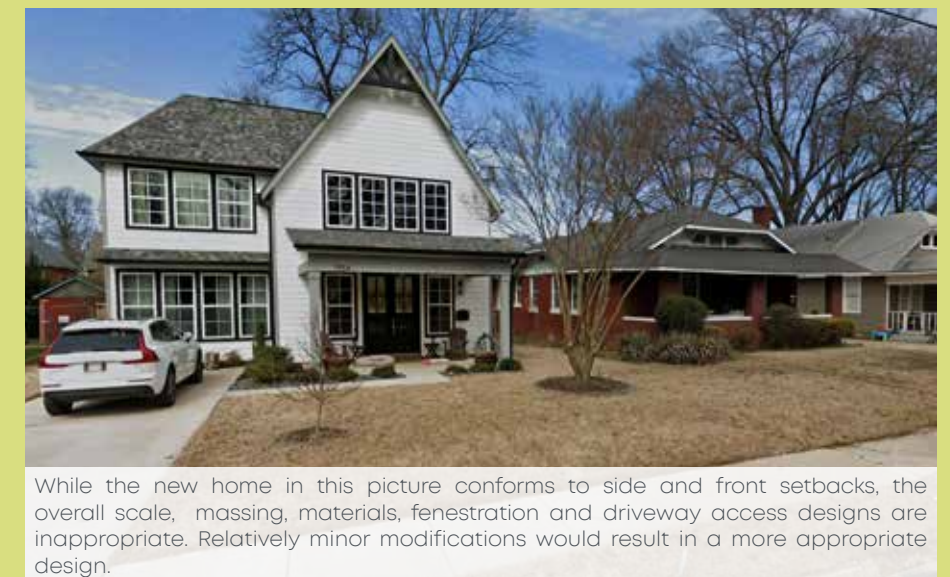
Landscape buffers and screening may be appropriate where new development backs or sides to existing uses, specifically when the existing uses are residential in nature.

For signage and lighting design recommendations, see page 35

### SHARED PARKING

On-street parking shall be counted for development parking totals.

See recommended 'Parking Standards' on page 45.



While the new home in this picture conforms to side and front setbacks, the overall scale, massing, materials, fenestration and driveway access designs are inappropriate. Relatively minor modifications would result in a more appropriate design.

# TOWN CENTER / COURTHOUSE SQUARE

## DESIGN STANDARDS

### DESIGN, BUILDING HEIGHTS AND SETBACKS

It is strongly recommended that overall building form, massing and orientation should be compatible with existing adjoining and nearby buildings that contribute to the architectural style and character of the street or neighborhood.

It is strongly recommended that where existing surrounding buildings are lacking so that contextual setbacks cannot be established, that buildings which include ground floor commercial space be constructed no closer than 15 feet to and no further than 20 feet as measured from the face of the curb of the public street.

Generally, taller buildings (greater than 3 floors in height) may be more appropriate within the Town/City place type as depicted in the Haywood County Protect and Grow map.

An exception to this general understanding is the desire to restrict building heights on the blocks adjacent to the Courthouse Square in Brownsville.

Refer to general design standards as identified throughout this document for the specific use(s) associated with the proposed development.

### RHYTHM, SEPARATION AND MASSING

Consider surrounding uses, natural areas, buffers, and working farmland when determining the rhythm of the development, separation requirements, and overall neighborhood massing.

Consider context and adjacent use types when developing infill, specifically historic buildings and/or those buildings of architectural significance.

### STREETSCAPE

Generally, streetscapes defined by buildings setback 15-20 feet from face of curb and are located on, near or around a Town Center shall incorporate various elements of streetscape design including appropriately place and spaced street trees either in open planting strip or within 'tree wells' including a grated cover. In addition, such streetscapes and sidewalks shall incorporate street furniture that is coordinated with the architectural design of the building and/or selected from an approved street furniture palette. See 'Streetscape Design' on page 39.

### SHARED PARKING

Adjacent on-street parking shall be included in available parking calculations.

See recommended 'Parking Standards' on page 45.

Consideration shall be given to a shared parking resource such including structured parking as development and demand warrant. It is recommended any future facility follow the preferred design standards found on page 45.



Public parking facility.



The mixed-use building in this image addresses the street in a way befitting a Town Center. Appropriate design elements include storefront design for ground floor live/work space, appropriate streetscape including street trees, and a clean use of material and three-part hierarchy.



Town Centers are encouraged to incorporate usable open space into their design.



The image above depicts an appropriately scaled Town Center including a mixed-use building framing a well-designed and landscaped usable open space.

Town Centers serve as a focal point for economic and civic life in Haywood County. These locations respond to resident's stated goals for vibrant centers to their communities which include a range of retail, services, housing options as well as activated public spaces and amenities. In order to support the level of activity typically associated with the center of a community, additional building heights and densities are appropriate. As change occurs in the community, the opportunity exists to enhance the centers of Brownsville and Stanton with this type and character of development and improve the quality of life for all residents as a result. As town centers traditionally define the "image" aspirations of a community, both how it views itself and how the world beyond views the community, it is important that new development embody the spirit and character that is authentic to Haywood County.

As found with in other areas described in this document, context should form an important underpinning to design considerations. Where adjacent properties are anchored by historic structures, the character of those buildings should influence design solutions. In locations lacking significant historic structures or architecturally significant buildings, great liberties may be appropriate. Regardless, all investment should seek to improve and enhance the public realm, specifically a pedestrian oriented streetscape which the building helps define. Additional emphasis will be placed on the storefront and ground level design considerations for all renovations, additions and new construction in these areas.



Inappropriate scale, massing and details. Building setback, isolation from the public right-of-way, and location of parking are all detrimental to the creation of a walkable and vibrant neighborhood or street.

# LIGHT INDUSTRIAL / MAKER SPACES

Current land-use and zoning patterns generally restrict incorporation of the vast majority of light-industrial uses and those uses that may in their nature combine some aspects of commercial, retail and industrial uses. These buildings and uses can provide a critical space for entrepreneurs and contribute to a diverse and resilient local economy.

Such uses can form the backbone to a home-grown economy and often capitalize on local resources, talent and demand for their success. As such, the spaces they occupy should be woven into the existing urban fabric or be incorporated as components of new development where the location is supportive of the proposed use. Example of such uses include (but are not limited to): bakeries, woodworking shops, small and specialty furniture manufacturing and repair, glass studios, printing and book binding, artists studios, shared workshops and fabrication space, recording studios, and micro-breweries and distilleries.

Generally speaking, recommendations for site layout, building orientation and building design and orientation should refer to and abide by the Commercial design guidelines and recommendations noted in this document. Uses and operations may require additional consideration for noise, mechanical equipment, screening and access as noted on this page.



Redevelopment of an existing building with storefront that addresses the primary road and provides adjacent open space for customer pick-up and gathering for events.



Breweries and distilleries often incorporate public gathering spaces both interior and exterior and may be accompanied by large-scale equipment located adjacent to the building. Proper screening and placement of such elements can restrict sightlines to equipment.



Tanks and other industrial equipment may be required by use. Design and placement on the site should be considered when designing infill or redeveloping existing properties.



Maker spaces may include workshops, open space warehouses, fabrication spaces, print shops, bakeries, etc. Certain uses may require different types of interior or exterior spaces and will require different screening/buffer areas. Credit: UTK College of Architecture + Design

## GENERAL STANDARDS

### SCREENING

Appropriate screening and landscape buffer where industrial uses abut residential districts or a primary, scenic, or secondary road.

Required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses.

Required on sites which involve loading or unloading (including the storage of vehicles and boats), trash, or disposal areas and where accessory buildings and structure are adjacent to residential properties.

Exterior storage areas should not be visible from roadways, sidewalks, or nearby residential properties.

Landscaped screens shall be designed to complement other landscaping occurring naturally on the site where possible, within the scenic road buffer, planted previously, or approved as a part of the site plan review.

Design of screening shall consist of durable plants and materials capable of providing year round screening.

Screening shall consist of trees and plants and may include masonry, or wooden fencing used with or without berms. Screening shall consist of a functional and well-designed combination of the following: vegetative ground cover, coniferous and deciduous shrubs, and coniferous and deciduous trees.

Natural slopes and existing vegetation are encouraged to serve to screen the area from adjoining properties and roadways.

### LIGHTING

Lighting on the site shall be designed to avoid glare onto adjacent properties.

Lighting on the site shall be sufficient to provide for the safety and security of the business, its employees, and its customers.

Refer to lighting design on page 35.

### BUILDING ORIENTATION AND ACCESS

Buildings shall be located and configured such that their primary facade and entrance face the primary street. Pedestrian access from the primary right-of-way to the front entrance shall be provided and easily distinguished by pedestrians and passers-by.

Loading and unloading spaces shall not block the passage of other vehicles on a service drive, shall not block or impair the public right-of-way, shall not impair major pedestrian circulation on site, and shall not create blind spots when trucks are loading or unloading.

Parking is discouraged between the front of the building and the street. See page 45 for additional parking design recommendations.

The front yard shall be landscaped and shall be maintained as designed.

### ENVIRONMENTAL CONSIDERATIONS

Proposed uses and development must define noise levels (as measured in decibels) associated with manufacturing, production, loading and storage activity as measured immediately adjacent to the site, planned hours of operations, and anticipated periods in which noise may occur.

Consideration will be given by the review body as to whether the noise is anticipated to be excessive, and recommendations to restrict excessive noise from extending into residential and commercial districts. If not feasible, the use may be restricted.

Operations shall not cause, allow or permit air contaminants or other material that will cause injury, detrimental nuisance or annoyance to a considerable number of nearby residences, businesses or the public.

# GENERAL PARKING STANDARDS

## GENERAL PARKING STANDARDS

### GENERAL PRINCIPLES

Parking lots shall be designed to be less prominent than the buildings they serve, be interconnected with adjacent parking lots and be shared to maximize the efficiency of land they occupy.

Parking lots shall be designed for the safety, control, efficient movement and convenience of vehicular circulation within a site.

Pedestrian movement shall be a priority in any parking design and shall be enhanced through careful consideration of walkways, surface materials, pedestrian-scale lighting, setbacks and landscaping.

Vehicular and pedestrian conflicts should be minimized with vehicular access located in deference to priority pedestrian movement.

### LOCATION

Wherever possible, parking lots and structures should be located to the side or rear of buildings and not between the street and the building. See place types for case specific considerations.

Where buildings are adjacent to the sidewalk, parking lots shall be set back at least 8 feet from the edge of the sidewalk to provide sufficient space for buffering and screening.

Parking structures, vehicular entries, and pedestrian entries/walkways shall be located away from residential areas to the extent possible.

Parking structures should be wrapped with buildings or shall be screened so that parked cars are not visible from public streets.

### ACCESS

Access to parking lots and structures shall be designed to minimize traffic congestion on streets and shall be from a side street or alley. Structured parking access should be from a parking lot drive aisle where possible.

The number of entrances shall be the minimum necessary for effective on- and off-site control, combining adjacent entrances whenever possible.

Parking lots on adjacent lots should be connected, consolidating, cross access easements established, and redundant driveways closed wherever possible.

Sufficient vehicle queuing space shall be provided to avoid backups into the public right-of-way.

### LAYOUT

Parking areas shall be organized as a series of small parking bays with planted islands separating them. No more than 10 contiguous parking spaces is recommended.

Drive aisles shall be no more than 24 feet in width.

### BUFFERING AND SCREENING

Landscape aisles shall be placed on both sides of entrance drives to create aesthetically pleasing tree-lined entrances.

Parking lots should be screened as viewed from the public right-of-way by buildings, low walls, landscaping or architectural features.

### PARKING REQUIRED

Consideration may be given to include adjacent on-street parking (informal and dedicated) towards the parking required for a use or building.

Consideration will be given to a reduction in parking provided through a shared parking approach between uses and as demonstrated through application of a shared parking calculation for the proposed development (ULI: Shared Parking or similar).

## STRUCTURED PARKING GENERAL STANDARDS

### GENERAL PRINCIPLES

Parking structures shall be designed to be less prominent than the buildings they serve, complement other nearby buildings, and not stand out as utilitarian structures.

The pedestrian experience shall be enhanced by the presence of a parking structure through careful consideration of building materials and setbacks.

Vehicular and pedestrian conflicts shall be minimized with vehicular access located to prioritize pedestrian movement.

The location and design of parking structures shall minimize the negative impact on adjacent uses and the public realm.

Where it is impractical to line a parking structure with buildings or the ground floor of the parking structure is not utilized by a space designed for occupancy, the parking structure may front on streets and be set back at least 15 feet from the back of the sidewalk provided it is adequately screened and the setback sufficiently landscaped.

### LAYOUT

The layout shall be integrated with existing traffic circulation patterns of adjacent streets.

Vehicle circulation within the parking structure shall be continuous and uninterrupted at all levels.

A minimum floor to ceiling height shall be 8'-2" on the first level and 7'-6" on all other levels, and shall be free of structural members and appurtenances including light fixtures, signage and piping.

Ramp slopes generally range between 5 to 6.67 percent. Speed ramp slopes generally range between 6.67 to 12 percent with appropriate transition slopes included at the top and bottom.

### ARCHITECTURAL DESIGN AND DETAILS

The design of the parking structure should be varied in form and detail with high quality facing materials to avoid appearing like a rectangular utilitarian box.

Pedestrian entries shall be given special emphasis with landscaping, paving, architectural details, and public art.

Exterior elevations should be consistent with the materials and design components used in the primary building.

### LIGHTING

Ramps and screening shall be designed to minimize the impact of car headlights on adjacent properties.

Interior walls and ceilings should be a light color to improve illumination; pipes and mechanical equipment shall be painted to match.

Light levels shall be low for main parking areas and higher for ramps and points of entry and exit. Light levels shall be adjustable, particularly at ramps and points of entry and exits, during daylight hours to facilitate motorist eye adjustment from natural light. For additional recommendations, see page 35.

### SECURITY

Elevators and stairways shall be located to permit internal and external visibility.

### NOISE

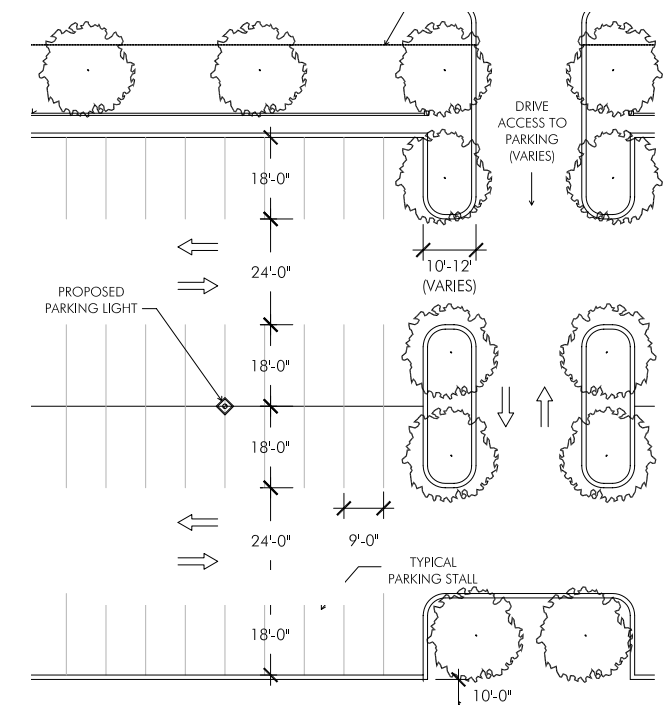
All noise-generating mechanical equipment shall be located as far away as possible from adjacent residences and businesses.

Paving surfaces shall be selected to minimize tire squeal.

Significant space within a community and sizable public and private investments are necessary to provide adequate parking and access for automobiles and trucks. The impact of parking, how it relates to the uses it supports, and the experience of residents, customers and visitors is of paramount importance when creating a well-designed built environment. These guidelines recognize the important role sufficient parking and its location serves and that by incorporating design recommendations and requirements the safety, utilization and experience for the entire community may be improved.



Parking lots and structures should be screened where adjacent to a public right-of-way.



Surface parking is defined as an open field of parking at grade level. Surface parking may have both diagonal one-way parking bays and/or two-way 90-degree typical parking bays depending on adjacent building use and block structure. In order to break the paved surfaces and provide shading for vehicles and users, landscaped islands are placed at intervals between parking spaces, typically with a tree planted every 40 parking spaces.

# IMPLEMENTATION AND APPLICATION

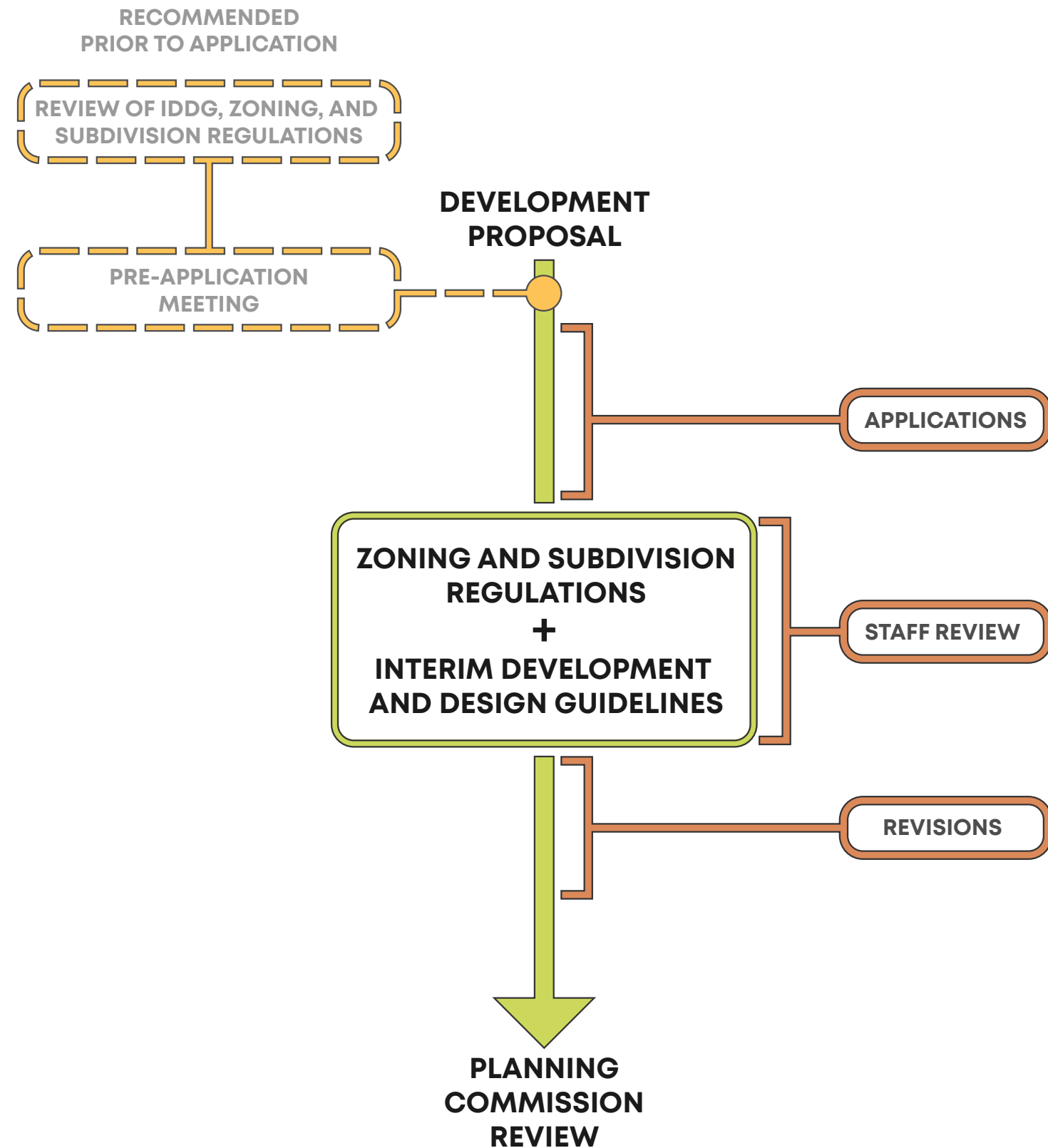
The Interim Development and Design Guidelines (IDDG) serves as a guide and valuable tool to help inform the character and pattern of development within Haywood County. Implementation of the document will take time and a concerted effort to determine the most appropriate method of application by the county's local boards and governing bodies. Implementation and application may extend beyond proposed development to policy considerations to better ensure consistency with the preferences, recommendations and guidelines contained herein.

Applicants and interested parties are encouraged to contact local representatives and governing bodies to identify information and critical 'next steps' as applicable to specific requests.

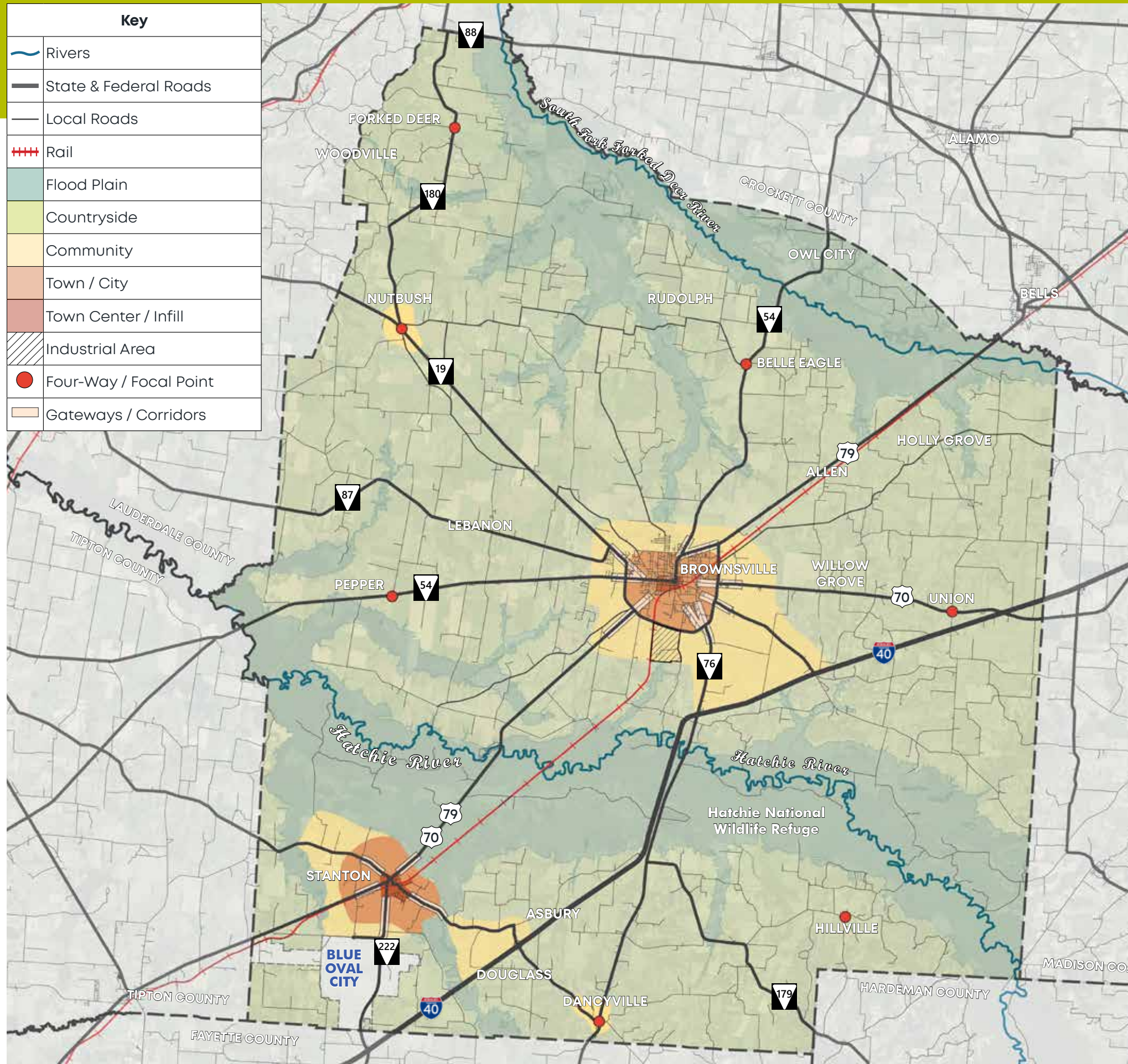
The governing bodies will direct the review of subject applications and proposed development utilizing appropriate local regulations and ordinances in addition to the IDDG. The findings of the review will be made available to the applicant, the members of the governing body, and the general public for consideration.

While this document provides publicly informed guidance regarding the character and qualities of development, it is not meant to stifle design innovation in Haywood County. Applications for buildings, homes, and development patterns of nonconforming character and design will be considered on outstanding design merit and on individual building/site specific condition(s). An approved nonconforming design cannot establish precedent for other buildings and site conditions.

Public officials, elected or appointed representatives, and members of local governing bodies will familiarize themselves with the contents of this document in keeping with their roles and responsibilities within the community. Individuals charged with administering this document are highly encouraged to complete regular training regarding its application and as revisions occur.



# SUMMARY



The residents and businesses of Haywood County share a deep appreciation and value for a diverse landscape of winding rivers and bottomland forests, rolling and productive farmland, and a tightly-knit and diverse network of communities, towns and cities. This appreciation of place and the desire to continue to enhance that which is uniquely Haywood County, forms the foundation to the Interim Development and Design Guidelines (IDDG).

The balanced approach to investment described within this document anticipates change and serves as a guide and valuable tool to help inform the character and pattern of development within Haywood County.

As a "living document", it is fully anticipated that specific guideline recommendations and requirements will be modified over time. At regular intervals, the appropriate governing body will work with elected officials, residents, property owners, and businesses to identify those aspects of the guidelines in need of revision. In this manner, the information contained herein will continue to reflect the needs, aspirations and preferences of the community.

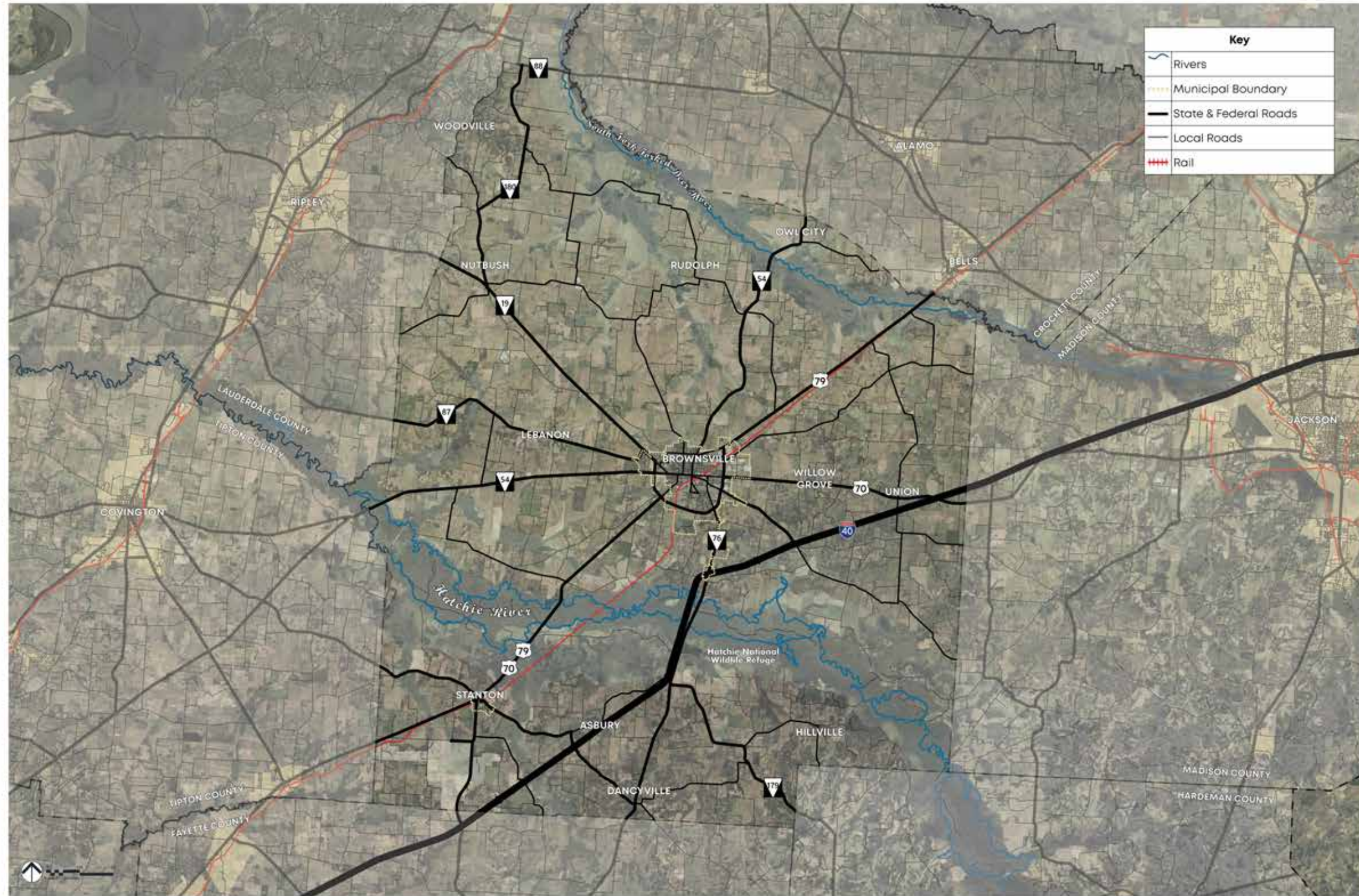


*THIS PAGE INTENTIONALLY LEFT BLANK*

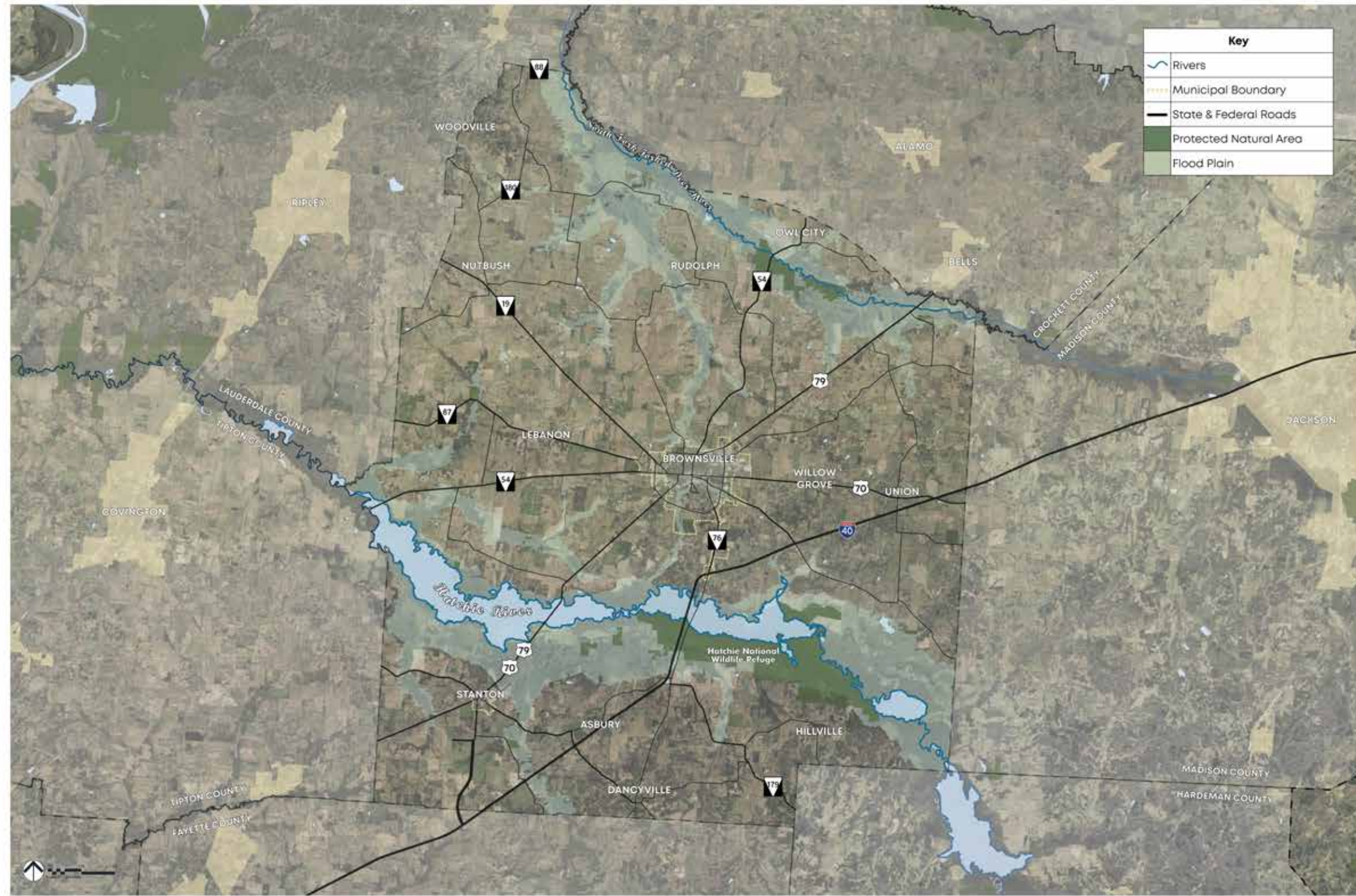


<b>CONTENTS</b>	<b>49</b>
<b>BASE MAPS</b>	<b>50</b>
<b>SOUTH AND NORTH HAYWOOD LISTENING SESSIONS</b>	<b>56</b>
SOUTH HAYWOOD COMMUNITY FEEDBACK	58
NORTH HAYWOOD COMMUNITY FEEDBACK	66
EXECUTIVE SUMMARY	76
<b>BROWNSVILLE LISTENING SESSIONS</b>	<b>78</b>
BROWNSVILLE COMMUNITY FEEDBACK	80
EXECUTIVE SUMMARY	88
<b>HAYWOOD COUNTY WORK SESSION</b>	<b>90</b>
PUBLIC FEEDBACK	92
COMMUNITY VISUAL SURVEY SUMMARY	96

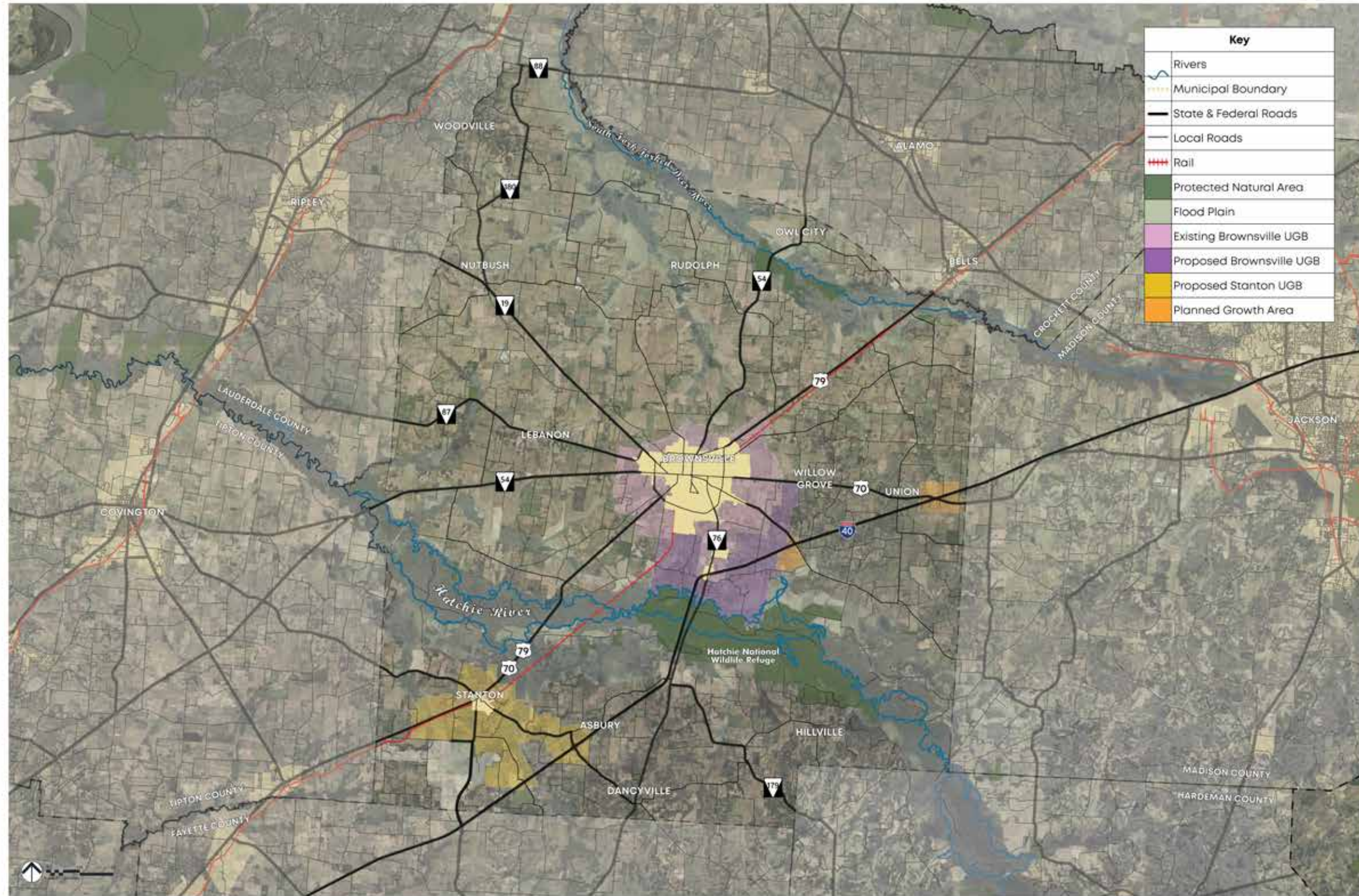
# HAYWOOD COUNTY



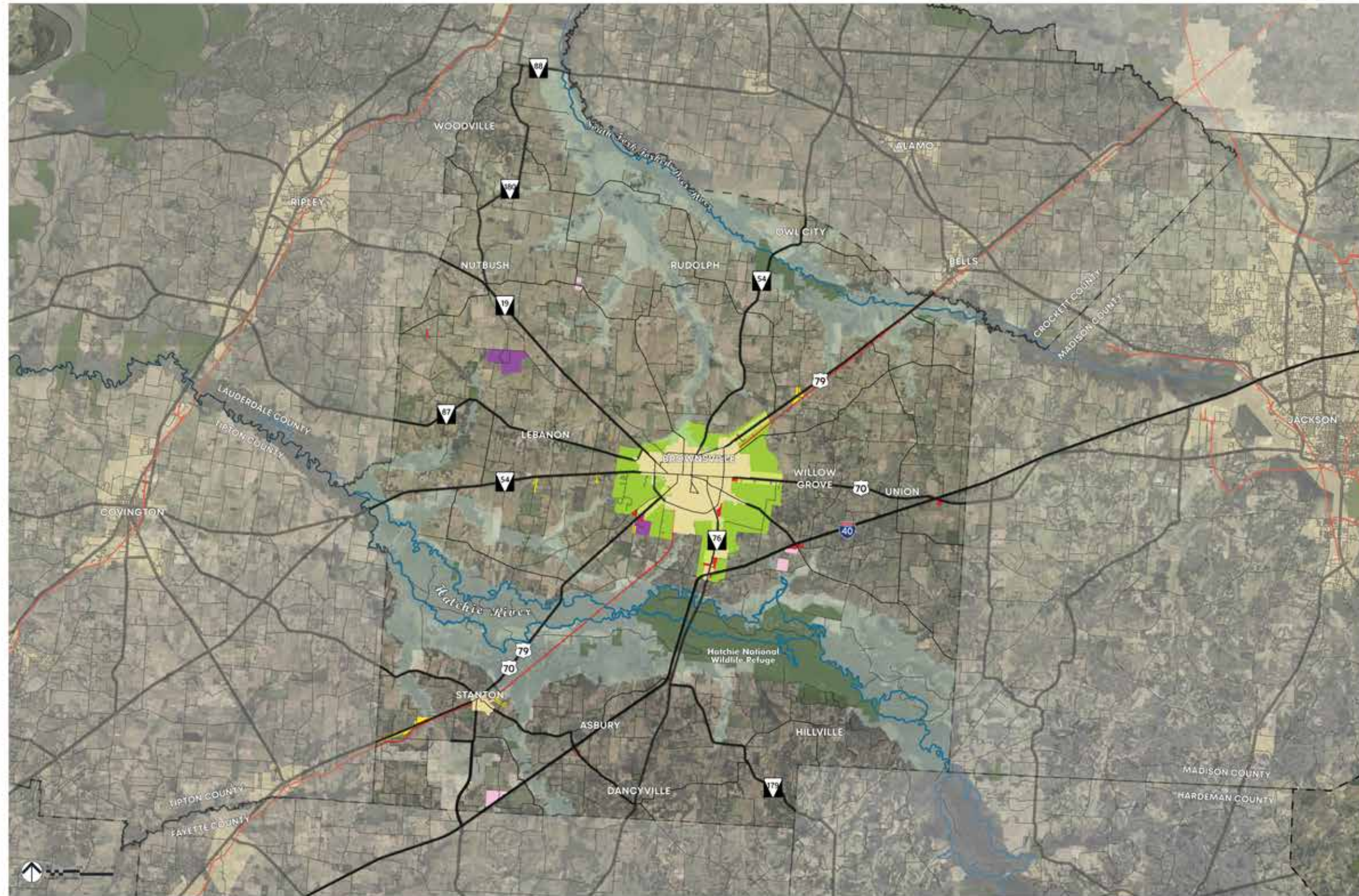
# NATURAL ENVIRONMENT



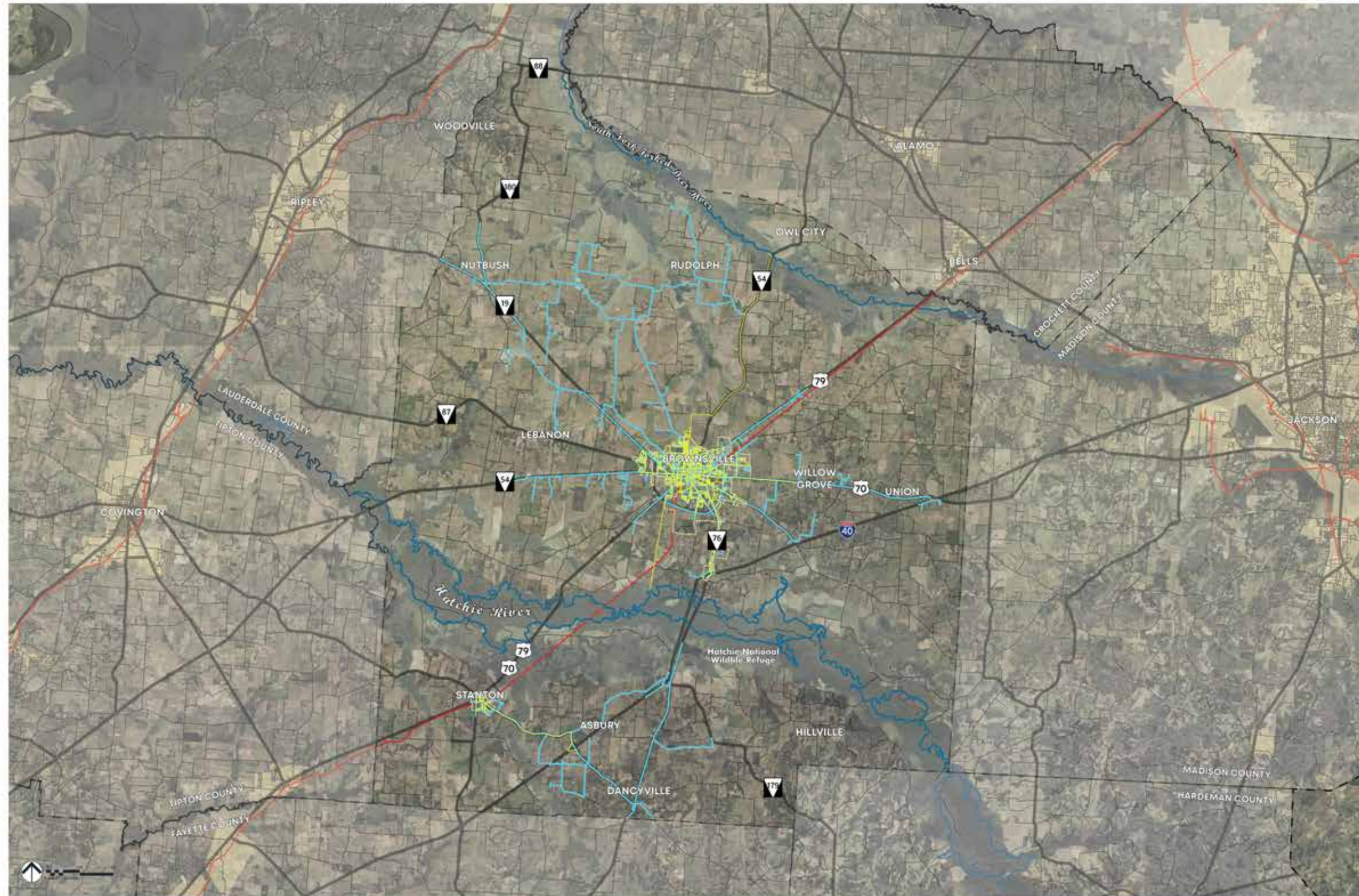
# GROWTH/CHANGE FRAMEWORK



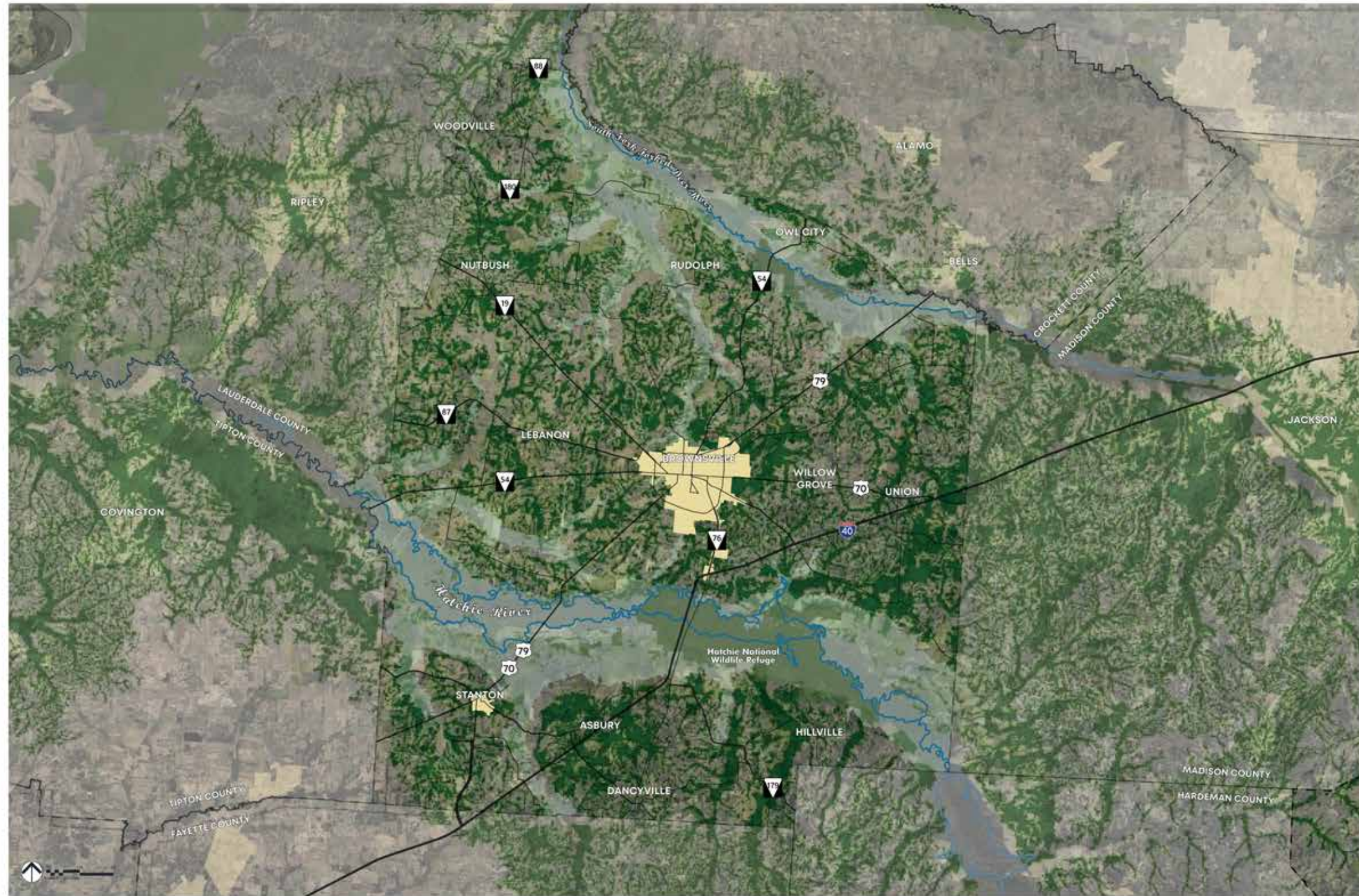
# HAYWOOD COUNTY CURRENT ZONING



# WATER AND SEWER LINES



# SOIL QUALITY



# SOUTH HAYWOOD LISTENING SESSION - SIGN-IN SHEETS

~80 total

7/7

SOUTH HAYWOOD COUNTY LISTENING SESSION	
Location:	Mt. Zion Missionary Baptist Church
Meeting Date:	July 7, 2022
Name	E-Mail
Tris Seymour	tris.seymour@hcsk12.net
Mary Ann Barber	
Dorothy Jarrett	DR_Jarrett@comcast.net
Barbara R Hudson	barbhd1@hotmail.com
Tressy Halbrook	tressy.halbrook@hcsk12.net
Jeanette Sangster	jeanettesangster@yahoo.com
Corey Currie	Corey.Currie@hcsk12.net
Brett Jones	brett.jones@hcsk12.net
Megan Nichols	mmnichols1989@gmail.com
Chris Davis	chris.davis@hcsk12.net
Robert Matthias	robert.matthias@hcsk12.net
Charles Byrum	charlesbyrum@hcsk12.net
Dianne Crawford	dianne.crawford78@yahoo.com
Patricia Douglas	PatriciaDouglas979@gmail.com
Tracy Seymour	tsymour73@gmail.com
Gloria Boyland	Sean.boyland1513@comcast.com
Lauren P Smith	Laurenjpsmith52@yahoo.com

SOUTH HAYWOOD COUNTY LISTENING SESSION	
Location:	Mt. Zion Missionary Baptist Church
Meeting Date:	July 7, 2022
Name	E-Mail
Kelli Bonifer	kelli.bonifer@hcsk12.net
Sara Price	sara.price@hcsk12.net
William B REEDER	
Pastor John Peterson	sunelven@gmail.com
Eric Cooper	ericcooper72@outlook.com
Daniel Hadley	proverb632@gmail.com
Nicole A Johnson	nicole.johnson@hcsk12.net
Cedric Blanch	cedric.blanch@hcsk12.net
Corless Woodland	woodland.corless@gmail.com
Carolyn Winfrey	Carolynwinfrey@gmail.com
Phelan Goble	phelan.goble@hcsk12.net
Sharon Clark	veryfirstvictory@yahoo.com
Julia Williamson	julian@eplus.net
Shirley B. Williams	
Lanny Malone	lanny.malone.afflatuse@gmail.com
Denise Pearson	denise.pearson@hcsk12.net
Kenneth Hill and Shareka Hill	hillkenneth3@yahoo.com
Marty Todd	marty.todd@hcsk12.net

SOUTH HAYWOOD COUNTY LISTENING SESSION	
Location:	Mt. Zion Missionary Baptist Church
Meeting Date:	July 7, 2022
Name	E-Mail
Ann Gardner	AnnSellsBrownsville@gmail.com
John Adams	STANTON1973@yahoo.com
Michelle Tillman	michelle.tillman@hcsk12.net
Constance Douglas	PrimetimeDouglas1442@gmail.com
Chris Ware	chris@heirloomlaw.com
Peggy Sangster	
James Cabo	
Eugene Turner	Turnereugene839@gmail.com
Misty Hunt	Mildred4281@att.net
Chris Richards	Sonorech54@Aman1.com
Norma Middlebrook	nmiddlebrook0850@yahoo.com
Melvin Middlebrook	melvin58middlebrook1@gmail.com
Thomas Borren	bforpresident@aol.com
Gaylon Crawford	crawfordsinc@yahoo.com
Sarah Aitken	Sarah.aitken@hcsk12.net
Alex Aitken	alex.aitken@hcsk12.net
Daphne MacLin	2ctab38069@yahoo.com
Art Garrett	art.garrett@hcsk12.net



SOUTH HAYWOOD COUNTY LISTENING SESSION	
Location:	Mt. Zion Missionary Baptist Church
Meeting Date:	July 7, 2022
Name	E-Mail
Brooke McCain	brooke@braunsvillepress.com
Andrea Baynes	andrea.baynes@hcsk12.net
Donnay Providence	drprvdnc@Memphis.edu
Lyle Reid	
Edo Edwards	alden.edwards@gmail.com
Cheryl Cole	chercole2004@yahoo.com
Heather Pennel	mrspenel@gmail.com
Flozell Dawell	flodanwell@yahoo.com
Robbie Crabbey	RobbieCrabbey66@gmail.com
Uplanda Taylor	uplanda.taylor83@gmail.com
John Kopmeier	John.Kopmeier@hcsk12.net
Linda Jones	linda.jones@comcast.net
Leanne Thompson	laxson@acxpress.com
Rev. Gerald K Jordan	gj401545@gmail.com
Olivia Farrington	ofarrington2714@aol.com
Jamie Mayo	Jamie.Mayo@stryker.com
Jon M. Sam	Jon@3836SAFETY.com

17

SOUTH HAYWOOD COUNTY LISTENING SESSION	
Location:	Mt. Zion Missionary Baptist Church
Meeting Date:	July 7, 2022
Name	E-Mail
Teresa Middlebrook	teresamiddlebrook@yahoo.com
Glorie Davis	Novemberstar@live.com
Norman Bauer	normanbauer@comcast.net
Penalty Jones	JD + Baccal/Santa Ana
Janet M. Lytle	SMH Hwy #19 W Buille
Will Cardenas	WCardenas@OVSSR.org
Ward E Smith	UTK
Joe Stephens	charlestanco@belkouth.net
Tucker Johnson	t_johnson.DT@comcast.net
Jacy Hassell	jacy.hassell@hcsk12.net
Michael Banks	michael@bankslawfirm.net
Gen Kelly	bellgentles@yahoo.com

9

**BREAKOUT DISCUSSION #1**

**WHERE ARE WE TODAY?**

1. WHAT DO WE CHERISH ABOUT THE COMMUNITY?
2. WHAT ARE THE THINGS WE WOULD LIKE TO IMPROVE OR MAY BE MISSING?
3. WHAT ARE THE OPPORTUNITIES AND THREATS WITH CHANGE COMING TO OUR COMMUNITY?

**BREAKOUT DISCUSSION #2**

**WHERE DO WE WANT TO BE IN 10 YEARS?**

1. HOW CAN THE QUALITIES WE CHERISH BE PROTECTED AND MAINTAINED FOR FUTURE GENERATIONS?
2. WHERE ARE THE AREAS WHERE GROWTH AND CHANGE SHOULD OCCUR AND WHERE IS IT LESS APPROPRIATE?
3. WHAT DOES THE "GREETINGS FROM HAYWOOD COUNTY" POSTCARD LOOK LIKE IN 2032?



# SOUTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

## 1) Cherish

Cemetery - Pres. Church -  
 Community Relations - Courthouse  
 Hatchie River - Agracorn Festival  
 Friendly - Hwy 70 (St. Rt. #1)  
 Historic Structures  
 Events - Blues Fest

## 2) Youth activities

Movies, Bowling, Eating, Rooftops  
 Green Space - incorporate

Improve Roads

Expand Infrastructure - i.e. sewer, water

Emphasize adherence to "The Plan"

\* Become the most ecologically friendly area  
 in the US.  
 (Frank's idea)

3) THREATS  
 A bad Plan - Lack of Plan Execution  
 Plan for congestion  
 Inter-educational Training - Lack of is a threat  
 " " "  
 Civic Training -  
 (Lack of Fiscal Sustainability)

OPPORTUNITY  
 (ancillary businesses)  
 (Retention of young population)  
 Good corporate neighbor  
 Natural Resource preservation

## B-OUT #2

- 1) - The Plan + its execution + enforcement
- Must receive 269M PILOT \$\$
- Cultivate Leadership
- Planning + Code
- Zoning Resolution Revisions
- Apprenticeship Programs

## 2) Growth

Stanton  
 Brownsville  
 ↳ Industrial

No-growth  
 Area of  
 Nature -  
 Hatchie

- Breakout #1
- 1) Favorite thing in Haywood Co — KATHY
- flags in Brunsuille
  - history of the school in Stanton
  - Douglass Community - history
  - old town Stanton
  - quiet / low crime in Stanton
  - clinic - Dollar General - Stanton

- What's missing - specific to Stanton
- job
  - bank
  - school
  - theaters
  - retail
  - cleaners
  - drug store
  - hardware
  - restaurants
  - park
  - amusement park
  - museums
  - shops
  - doctors
  - hospital
  - Wal Mart
  - sports / recreation
  - grocery store

Threats	Opportunities
- crime	- jobs
- higher taxes	- lower taxes?
- traffic congestion	- business growth
- chaos	- senior citizen services
- overpopulation	- better schools
- opportunities (job + other) go to outside our County	- colleges -
- lose our identity	- seminaries
- peace of mind	- hotels
- inadequate road structure (eminent domain etc)	- restaurants
	- commercial growth
	- children to live here after they graduate (blue collar + white collar) **

- Breakout Questions #2:
- 2) We don't want Stanton to ~~look~~ be like Memphis (ie: crime, undesirable)
- maintain the small town atmosphere
  - keep historical places but have progress to have a more robust town / community
  - top notch healthcare
  - better ambulance
  - speak up, on fore, leaders that have vision
  - police station / fire station

- 2) - growth should occur in Stanton and surrounding areas
- don't leave out Charleston Rd \*
  - good internet
  - whole County should benefit

- 3) Post card -
- Welcome to Stanton
  - pic of a thriving community
  - old Stanton / new Stanton [progress]

# SOUTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

① Bout #1  
→ Small Town Feel JoeB.

→ Quietness  
→ Distance from neighbors

→ The People - caring - hospitality - courtesies  
→ Historic Buildings  
→ No Rush Hour

② Workers

Mari Theater  
Retail - clothing  
Grocery - Market  
Food Variety

More Law enforcement  
Medical Care - Rehab - Innate workplace dev.

③ Reduction Farm Bond

Megasite Ghetto  
Rise in median income  
Property appreciation  
Generational Prosperity + opportunities

Bout #2

1) Maintain a balance  
: Policies, zoning, ordinances, Resolutions

2) Stanton  
- Full Tiet

Key

- No congestion

- Peace and quiet

- Cost of living

- No convenience stores new names - things for kids

David P

- maintain Historical well planned subdivisions

change

better roads  
school system

walkable communities - cutting places  
school business priority, not big box

- law enforcement  
- splash parks  
- biking, hiking trails

- congestion  
- strain on electricity  
- loss of rural way of life  
- crime

- keep kids here  
- keep racial harmony

- plan for parking multiple colors, ingress egress

postcard trucks  
or d, ms

- trees  
- balance of community  
- blues festival  
- fall festival  
- kids places  
- wild life

## WHAT DO WE CHERISH ABOUT TODAY?

- SMALL TOWN FEEL
  - Relationships
  - Community
- CHILDREN of HC
- Quiet - Noise Controlled
- CHARM, Historic, Downtown (Square)
- CLOSENESS IN COMMUNITIES
- CHURCH Communities

## WHAT ARE THE OPPORTUNITIES AND THREATS WITH CHANGE COMING TO OUR COMMUNITY?

- POPULATION GROWTH
  - Schools
  - Law enforcement
  - Healthcare
- SCHOOLS FOR STANTON (OPP)
- DEVELOPERS PURCHASING LAND (THREAT)
  - (Corporate Developers)
- DISPLACEMENT (transient & homeless)
- MISINFORMATION / LACK OF INFO (THREAT)
  - PROPERTY TAXES
- STUDENTS - PREPARED WORKFORCE
  - WILL REMAIN IN HC CONT. →

## WHAT SHOULD BE PROTECTED AND MAINTAINED FOR FUTURE GENERATIONS?

- NATURAL RESOURCES
  - HATCHIE → FORKED OXER
- STEERING COMM (TRUST)
- PLAN - STICK TO IT!!!
- SEEK DEVELOPERS WHO WILL CHERISH WHAT WE CHERISH
- KEEP SMALL TOWN FEEL

## WHAT ARE THE THINGS WE WOULD LIKE TO IMPROVE OR MAY BE MISSING?

- MORE FOR KIDS TO DO (activities, recreation)
- RECREATION QUALITY OF LIFE FOR KIDS AND ADULTS
- MOVIE
- SCHOOL FACILITY IMPROVEMENTS
  - (playgrounds, sports facilities) Bkgs. K-12
- Daycare (Quality) (AFFORDABLE)

## HOW SHOULD GROWTH AND CHANGE SHOULD OCCUR AND WHERE IS IT LESS APPROPRIATE?

- PRIVATELY OWNED PORTIONS OF HATCHIE RIVER BOTTOM - (PROTECT)

## "GREETINGS FROM HAYWOOD CO." POSTCARD LOOK LIKE IN 2030?

- TRADITIONAL / CURRENT CMBQ

# SOUTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

BD#1 Tim S.

#1 Family fee - small town  
community involvement  
Hatchie Wildlife Reserve

Downtown @ Courthouse  
our school system

#2 More walking areas  
More family activities  
( ) Youth activities

Gym with pool, sauna, hot tub, steam room  
Like YMCA  
Colab between older & younger gen

( ) churches - food shares  
More restaurants with diff foods  
more options for Grocery

UBER/LYFT

#3 <sup>opportunities</sup> More long term housing  
apartments/condos

Entertainment venues  
Daycare

Job opportunity  
Education opportunities  
Transportation

Threats

#3 Crime  
Taxes

BD#2

1 Protect hunting grounds | Hatchie Wildlife  
( ) downtown/fee  
( ) our homes/land from being sold  
communities

#2 Less Appropriate

Historic areas  
Housing in Industrial areas  
NO strip malls

Should occur:

Anderson Ave to Exit 58  
East Main - Clean up add businesses here  
utilize empty buildings  
More businesses in Stanton  
Open Mall  
Internet  
Purposeful planning

#3

Destination Place  
Make Haywood County a place  
people want to move to, visit,  
work.

Diverse, Historic, Blue Oval

- #1 Small town Feel WALTER
- \* Low Crime Rate
  - \* Change is fine as long as citizens guide it
  - \* Peaceful
  - \* Need a Park/Walking Trail
  - \* Need Meeting Center
  - \* Phone Company in Stanton "landline"

Proper Monitoring  
of public facilities  
and parks WALTER

- #2 Growth need to occur  
in Stanton Downtown
- Need Place to pay utilities  
instead of Brownsville
  - Need a Bank
  - Need a grocery store

- #2 What would we like to improve
- A park
  - Street lights
  - More Monitoring

### #3 Threats

Crime Growth  
People we don't know coming here

DO NOT WANT GROWTH  
TO OVERTAK/OVERWHELM

### Question #1

Wants limited number of  
well-maintained subdivisions

Police Dept in Stanton

- #2 Give Downtown Stanton  
a FACE LIFT

Where are we today

- Small town Feel
- "We want things but we don't want  
too many things"

#3 Greeting Card  
People walking in Park  
"Downtown  
Stores/Shops"

Strip Malls on the outskirts  
of town.

# SOUTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

What do we cherish about the community today? Haywood/Michael Park's

- small; close knit
- Douglas School Area
- Stanton Cemetery
- Historic Downtown
- Church communities
- the people (love, concern, giving, safety)
- openness (lack of density)

What should be improved today or what's missing? Keep # in Haywood County

- childcare options (Stanton)
- community center / event space (Stanton)
- grocery store, <sup>office</sup> supplies (Stanton)
- pharmacy, basic health care needs
- park (community oriented) children walking space exercise
- shopping center (nice stores)
- tourism • farmer's market

What opportunities/threats are coming to our community today? \* New schools + sports facilities

- more crime
- opportunities for our youth to stay in H.C.
- increased population = good + bad
- congestion; noise; traffic (roads damaged)
- church growth
- employment opportunities
- transit • displacement gentrification

10 years: Where are areas where growth + change should occur + where is it less appropriate?

- interstate growth
- downtown growth (aligned design) businesses (store fronts, Stanton)
- schools; community college

10 years: How can the qualities we cherish be protected + maintained for future generations?

- protect residential space... Zoning (re-visit)
- preserve historical downtown areas
- constant communication; know plan
- capitalize on historic space for community space
- engage youth (know their history)

10 years: Greetings from Haywood County in 2032

- Caring, giving, loving (hands)
- Tina Turner (other entertainers)
- Blue Oval City embrace all cultures, diversity
- Hatchie River • agriculture farmer's market



*THIS PAGE INTENTIONALLY LEFT BLANK*

# NORTH HAYWOOD LISTENING SESSION - SIGN-IN SHEETS

NORTH HAYWOOD COUNTY LISTENING SESSION	
Location: Tibbs Fire House	Meeting Date: July 11, 2022
Name	E-Mail
Stacie Carlton	lefavesm@yahoo.com
Link Carlton	carltonl@live.com
Jody Lea	jlea38012@yahoo.com
Jeanna Lea	jeanna.lea@hcsk12.net
Brittany Ferrell	brittanyh953@yahoo.com
Brittany AVENT	brittany.avent@hcsk12.net
Tina & Anna Roberts	pull.designsbytar@gmail.com
Tanika Pickens	tanikapickens@bellsouth.net
Jean Wills	willsj3@gmail.com
Frank Johnson	frank@TNfall.org
Kelly Thrash	Kellykthrash@gmail.com
Iva Sarrett	sarrett_iva@yahoo.com
Fitzgerald Mann	fitzso99@yahoo.com

10

NORTH HAYWOOD COUNTY LISTENING SESSION	
Location: Tibbs Fire House	Meeting Date: July 11, 2022
Name	E-Mail
Terry McMillan	terry.mcmillan@hcsk12.net
WALLY EVANKS	WALLYWORLDJW@GMAIL.COM
LARRY LIVINGSTON	larry.livingston@hcsk12.net
Jim Duke	jduket@icloud.com
TOM ORR	brwnsult@home.com
Donna Orr	brwnsult@home.com
Tressy de la Cruz	tressy.halboorn@hcsk12.net
Grace Fergie	grace.fergie@hcsk12.net
Valerie Sceals	valerie.sceals@hcsk12.net
Brittany Pittman	brittany.pittman@hcsk12.net
Bradley Jones	bjjonesfarms@gmail.com
Barrow Taylor	TAYLORSISC@BELLSOUTH.NET
Betsy Ford	betsy@wnws.com
Chris Davis	chris.davis@hcsk12.net
Randall Kellough	ra.kellough2321@xoh.com
Deborah Sorrell	dkSorrell1@yahoo.com
Marty Todd	marty.todd@hcsk12.net
Donna Bowers	donna.bowers@hcsk12.net

18

NORTH HAYWOOD COUNTY LISTENING SESSION	
Location: Tibbs Fire House	Meeting Date: July 11, 2022
Name	E-Mail
Barry Sceals	b.sceals@telcel.com
Amy Prince	asprince1223@gmail.com
Natalie Pinner	nataliepinner@yahoo.com
Karetha Taylor	Karetha.miller@hcsk12.net
Juanita Taylor	juanita.williams@hcsk12.net
Lynn Baird	LTBaird@yash.com
Hannah Byrd	hmrbrts95@gmail.com
Dalton Byrd	daltonbyrd@hotmail.com
Jenny Scott	judgescott.hcjc@gmail.com
Paul Mann	PMANN@4WAYCARS.COM
James Sorrell	
Chelsea Currie	cwcurrie05@gmail.com
Mary Jones	
Leonard Jones Jr.	
GABE HART	ghart14@gmail.com
Ana Rosa Henderson	anarosa.henderson@hcsk12.net
Lj Abraham	lajuana@theequityalliance.org
Jimmy Morris	

18

NORTH HAYWOOD COUNTY LISTENING SESSION	
Location: Tibbs Fire House	Meeting Date: July 11, 2022

Name	E-Mail
Ella Williamson	ella.williamson@hcsk12.net
Shantwan J Beasley	z.beasley2005@gmail.com
R. Morris Engle Jr	moose5032@yahoo.com
Jackie Whitten	jackie.whitten@hcsk12.net
TOM SKELTON	tskelton@suttell.org
Kelsey Nave	kelsey.nave@hcsk12.net
Toni Eubanks	eubankstbe@gmail.com
Teresa Russell	teresa.russell@hcsk12.net
Chris Haliburton	chris.haliburton@hcsk12.net
Jennifer Wright	jennifer@bankslawfirm.net
Madison Lewis	madison.lewis@hcsk12.net
Denita + Tommy Baxter	denita.baxter@hcsk12.net
Elise + Brannon Powell	elise.powell@hcsk12.net
Paul M Lyle	livingstonpml@aol.com
Jason Byrd	wastewater270@gmail.com
Nan Darnaby	dfmc.nan@live.com
JEREMY MCBROOM	JEREMY.MCBROOM@GMAIL.COM
<i>[Signature]</i>	

NORTH HAYWOOD COUNTY LISTENING SESSION	
Location: Tibbs Fire House	Meeting Date: July 11, 2022

Name	E-Mail
Holly Northcott	holly.siler@hcsk12.net
Dawn Lovelace	dawn.lovelace@hcsk12.net
Julie Taylor	Julie.Taylor@hcsk12.net
Mauden Solomon	

# NORTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

**LOVE:** West TN Heritage Center  
 Distance from neighbors/  
 Space!  
 Park of Dreams  
 Peaceful  
 Community Events  
 Privacy  
 Volunteerism  
 Scenic Roads  
 Traditions!  
 O'Neal Lake  
 Forked Deer  
 Webb Banks Park  
 Communication + Awareness

<u>Opportunities</u>	<u>Threats</u>
More jobs (for locals too)	Traffic
Diverse Backgrounds (people!)	Pressure on Infrastructure + road quality/condition
Higher pay = higher morale!	Need to plan + modernize
Educational Opportunity	Crowding / Congestion
Better Infrastructure	Over-use of facilities + utilities
	Property Taxes
	Prices ↳ housing

Protect + Maintain for future...  
HOW?

Safety  
 law enforcement

Hospital

Higher Income

Greetings from Haywood... 2032

~ Bright Lights ~  
 Theaters  
 Bowling  
 (Entertainment!)  
 + stuff for kids

Comfort / Quality of Life

~~Buc-ee's~~  
 Buc-ee's

**MISSING?**

Rec. opportunities (kids)  
 + Parent Involvement

Education!  
 Improved School Buildings

Upgraded Parks  
 + Waterpark

Sam's (Shopping)  
 Buckee's + Restaurants

Community Centers

Bowling  
 Movie Theater

Growth + Change... WHERE?

<u>Yes</u>	<u>No</u>
School System	Hatchie
Vacant Buildings Downtown	Forked Deer
Growth: South of the river	Areas for recreation
Exit 56 hotels shopping restaurants	
Downtown Stanton	

Nature

Parks (kid friendly)

Technology  
 ~ brand / symbol

Local restaurants:  
 Blacksmith

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>• Small town feel</li> <li>• Sense of community</li> <li>• little congestion</li> <li>• low crime</li> <li>• Clean community</li> <li>• local festivals</li> <li>• no over crowding</li> <li>• Activities @ the Amp</li> <li>• Churches</li> </ul> | <p>Schools</p> <p>Scenic County Roads</p> |
|---|---|

- |   |  |
|---|--|
| <p>Changes Desired</p> <ul style="list-style-type: none"> <li>• More Outdoor Recreation</li> <li>• Shopping</li> <li>• Internet + Cell Coverage</li> <li>• Movie Theatres</li> <li>• Additional Restaurants</li> <li>• Daycare <del>Optional</del> Options</li> <li>• Improvements to Schools</li> <li>• More Downtown Parking</li> </ul> | <p>Better Roads</p> <p>More Access to Healthcare</p> <p>Better Garbage Mgmt</p> <p>Well Planned Residential Neighborhoods</p> <p>Maintain Agriculture Heritage</p> |
|---|--|

- |   |  |
|---|--|
| <p>Opportunities</p> <ul style="list-style-type: none"> <li>- Cultural Diversity</li> <li>- Job Opportunities</li> <li>- Education Opportunities</li> <li>- Shopping</li> <li>- Recreation</li> </ul> | <p>Threats</p> <ul style="list-style-type: none"> <li>- Over Crowding</li> <li>- Crime</li> <li>- Traffic congestion</li> <li>- Tax Implications</li> <li>- Homeless</li> <li>- Stress to Health Care Sys.</li> <li>- Stress to Municipal Services</li> <li>- More pollution</li> <li>- Property Values</li> <li>- Lack of Affordable Housing</li> </ul> |
|---|--|

- Where Do we Want to See Growth
- Exit 56 → Bypass
  - Small Business Growth Around Square
  - Good Industrial Growth Planning

- Less Appropriate
- Historical Districts
  - Hatchie Refuge
  - Rv Parks Away from High congested Areas
  - Near Schools

- 10 year Projection
- Good Leadership
  - Community Involvement
  - Good Financial Planning
  - Ongoing Planning
  - Better Garbage Mgmt
  - Improvement to Schools (Facilities)
  - Good Zoning
  - Strong Engaged Community Organizations
  - Strong School Board

- Post Card from Haywood 2032
- Festivals
  - Agriculture Areas
  - Nature
  - Faith Based Community
  - Great Place to raise family
  - Beautiful town with a Great Heart

# NORTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

Herish:  
 Anna was Scribe

Sense of Community  
 Sense of Safety - Doors Unlocked, Walk Safety  
 What unites us - Haywood Schools Athletics  
 Space between neighbors - Low Density / Privacy  
 Historic Heritage - Block from Square (Downtown Exchange)  
 Churches, Homes throughout county  
 Preserve Agriculture (Can't rezone Agriculture)  
 Fall Fest, Bird Fest  
 Musical Heritage - Blues Fest  
 Deep in Haywood County  
 Hatchie River  
 Football Homecoming  
 Downtown Area - Want to see it thrive  
 but keep historic look

Upper Community (Opportunities)

- Movie Theater
- Bowling Alley
- Restaurants - Staffing
- School System
  - New bldgs & facilities
  - Safer
  - Better pay for teachers
- Be school of choice for Ford Employees
- \* Learn from mistakes of Spring Hill
  - What was right and wrong?
- We're got to get it right
- Partnership w/ Ford

• Sign Ordinances  
 • Zoning  
 • Public transportation  
 • Prosperity for Everyone

\* sticks to them

Opportunities (Opportunities unit)

- Adopt-A School (Ford adopt the system)
- More for Elderly & Youth - Splash Pools  
 Senior Center and Activities
- More retail
- Day Care!!
- Parent Education
- Adult Literacy Classes
- Offshoot of UT or NoEM (Transportation makes this an issue.)
- More access to Hatchie River - parks, fish, canoe
- Recreational Lake
- Parks, Woods - not just Hatchie  
 "I think what Central Park means to NY"

• Quality opp. for kids to move back here

Threats / Concerns (Threats/Concerns)

Higher Crime  
 Staffing of Retailers etc.  
 Maintain current Business - Staff  
 Traffic  
 Losing Small Town Feel / Authenticity  
 Plant Closes  
 Getting "run over" by Ford  
 Farming Community goes away  
 Hospital Capacity  
 Police, Fire, Etc.

Tabernacle Church Camp  
 Bring back County Fair  
 Walking Horse Show  
 Courthouse - County Seat  
 Cemetery (Neglected - needs love)  
 Keep Green Spaces - more organized  
 One high school no matter how long we get.  
 - Consistent K-12  
 Farmer's Market - expand

about #1 →

What do we cherish?

belly around athletics

events/festivals

small businesses

great community feeling

community sports for youth

don't stifle farmland!

Hatchie River and wildlife conservation



Haywood County Schools  
Academics + Athletics

What would we like to improve or what's missing?

Waterparks

Shopping

Affordable Housing

Emphasize the importance/value of school systems!

Vocational studies! (Emphasize Pipelines)

Youth retention

Recognize Diversity (Create a welcoming & supportive environment)

School Buildings

Pediatrics + Healthcare

Restaurants + Diverse options + Groceries

L.A.M.

Change	
Threats	Opportunities
Closed Minds	Mid income
Low income	Political Leadership
Loss of farmland	Smart growth Revenue
Lack of monetary resources	Equalizing Poverty Gap
<u>Equity</u>	→ Tax Revenue
Political Leadership	Increased Trade workforce
Sprawl	
Small Labor Force	
Private or Charter	
	Population Increase

Breakout 2

- 1) City & county ordinances  
 Political Leadership  
 Historical Guidelines  
 Civic training for youth  
 Population retention  
 Create meaningful attractions  
 Better Services  
 Partnerships within the community  
 Expand the park system with more programming  
 Promote from within  
 Basketball  
 Baseball  
 Soccer  
 Tennis  
 People to uphold them  
 Joe K

Breakout 2

- 2) Offer living further from Memphis to accommodate people looking for something new... Develop artwork  
 Don't Develop near the River  
 less appropriate but can be done with precise sensitivity
- 3) Tina Turner driving an electric car with cotton in the back  
 Mindfield  
 Hatchie River  
 High School logo  
 Court Square  
 Churches as organizations

# NORTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

What do you like about our current community?

1. Easy access to places.
2. Safety
3. Small town feel.
4. School System - location structure
5. Sports - high school.
6. Churches -

Scenic country roads

sticky

What improvements?

- 1) Shops & Restaurants  
Kroger - more selection
- 2) Entertainment
- 3) Centralized Schools
- 4) Better roads & highways \*
- 5) Better trash management
- 6) Local "fairs" to draw locals + o/o towners
- 7) Entertainment / health facilities -
- 8

more outdoor recreation

sticky

Opportunities & Threats

- 1) O = more jobs
- 2) + = more crime
- 3) + = increased traffic
- 4) + = poor planning  
transportation RV parks (ex)
- 5) + - lack of research
- 6) + - lack of emergency warning in rural areas

Small business growth around square

sticky

Where do we want to be 10 yrs from now?

- 1) Better planning / research
- 2) Continued "Community" pride - excitement with sports -  
High School system  
Better Scholastic outcomes - Head Start

Where should growth + change occur?

- 1) Stanton
- 2) ↑ revenue - housing motels
- 3) ↑ medical care / facilities
- 4) Growth needs to be where there is adequate infrastructure.

Postcard from Brownsville

- 1) Haywood Co. Courthouse
- 2) "A Good Place to Live"
- 3) Friendly "small town" atmosphere
- 4) Respect our past   
Love our future 
- 5) Pics of folks walking around, shopping



### #1 Protect what we cherish

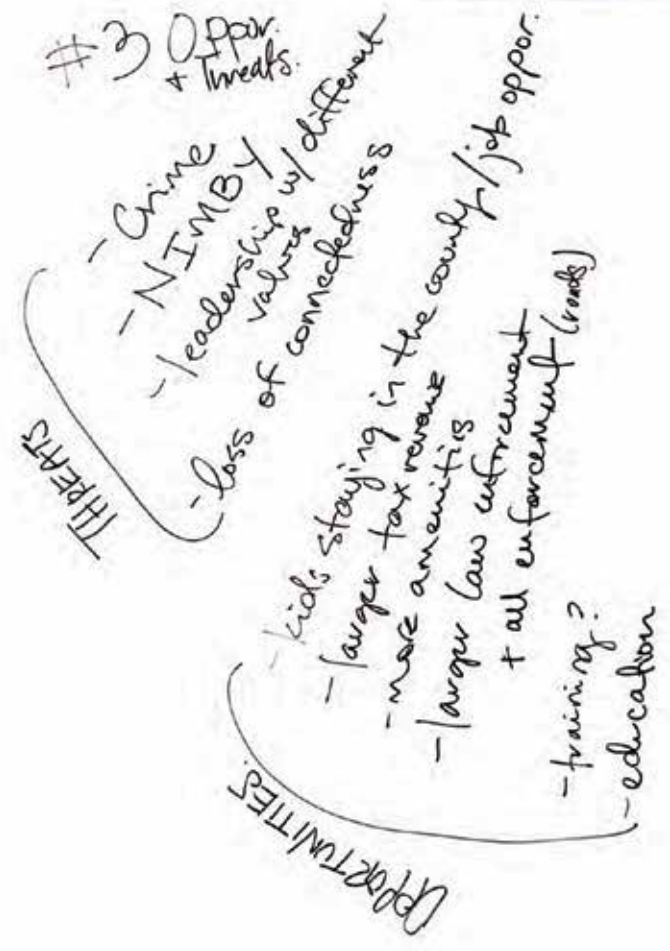
- No clue
- What is the state's role in planning? + what goes on in Hayward Co.?
- Protect the Hatchie
- How close can you develop?
- can they come in and revise/rework what we want?

### #2 Where does growth occur?

- Not in my neighborhood
- Brownsville UGB too large
- What is the definition of UGB?

### #3 Postcard

- Farmland
- Hatchie
- How much growth can downtown Brownsville handle?
- Natural Beauty
- Shopping
- Brownsville Downtown



- Everyone knows
- Small town comm
- Farming town, comm.
- Values
- Walnut in 2 minutes
- No traffic!
- Safety
- quiet, calm
- Nature-Hatchie Parks
- (Cherish)

### #2 Improve or Missing?

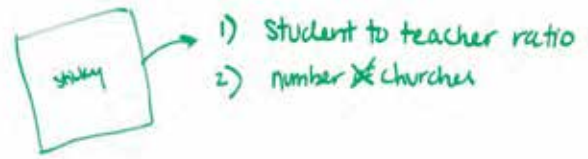
- improve roads
- Hwy 19
- entertainment
- food
- activities, family
- clothing/retail options
- school system
- childcare
- fitness facilities

think you have to go out of town  
change this mentality?

the Hospital

# NORTH HAYWOOD LISTENING SESSION - COMMUNITY FEEDBACK

- about the community?
- small town (unity) - courtsquare charm
  - student-to-teacher ratio
  - small business culture - local events
  - community support
  - churches (#) - low crime
  - 1 school district



- We would like to improve maybe missing today?
- restaurants - public transportation
  - grocery stores - entertainment quality of life (ie movies, things for youth, get towns)
  - athletic facilities
  - roads/sidewalks - housing (affordable, rental)
  - internet
  - updated/new schools - more organized youth sports
  - community college/TCAT
  - quality childcare (0-3)

- Opportunities/Threats Today
- Big Box Stores - retail competition
  - infrastructure - traffic
  - crime rate - cost of labor increase
  - transportation - increased population
  - workforce training - stretches local gov't

- Qualities - Cherished/protected
- downtown/square - small town unity
  - agriculture - more Franklin/Collierville
  - schools - keep excitement for students/family engagement
  - keep long range planning; revisit & act accordingly

- GROWTH - occur / NOT occur (growth/no growth) 10 years
- Stanton
  - Brownsville Courtsquare (Main Street)
  - Haywood (Not Neighbors)
  - Interstate (Exits 47-60)
  - Hatchie Bottom
- Jackson/ Memphis City limits No growth

- POSTCARD 2022
- Square - Musical Heritage
  - Cotton (Agriculture)
  - New Schools/Athletic Facility (Community Space)
  - Hospital
  - Blue Oval City - Hatchie River

- Cherish :-
- landmarks - College Hill
  - personal relationships via schools
  - Carver
  - Douglas Community
  - Old School Bldgs.
  - Hometown Events - Fall Fest
  - Town Square

- Improve :-
- Schools / Education
  - Broader View about school system
  - Focus reframe to invest in our children to KEEP in Haywood County
  - Blend our communities => Churches, Events, etc
  - HHS then build younger schools around *Get rid of unattractive buildings, etc*

- Opportunities / Threats :-
- \* Still have hometown quality of Life
  - \* Transportation
  - \* Keep opportunities growing for young adults.
- Threat :-
- Childcare
  - possible effect on value of property
  - relocation (don't want)
  - CRIME - improve local PD + Sheriff / FD
  - 4-lane highways
  - Green boxes

# SOUTH AND NORTH HAYWOOD LISTENING SESSIONS SUMMARY



Community Listening Session Summary  
July 19, 2022  
Page 2 of 7



Community Listening Session Summary  
July 19, 2022  
Page 3 of 7

July 19, 2022

**TO:** Interim Development Design Guidelines Steering Committee

**FROM:** Jonathan Flynt

**RE:** Community Listening Session Summary, July 2022

## Background/Purpose

Ford Motor Company is preparing construction for 'Blue Oval City,' an electric vehicle plant to be located in the southwestern corner of Haywood County. Once operational, the "mega campus" will employ approximately 6,000 people. The Industrial Development Board of the City of Brownsville and Haywood County Tennessee, the City of Brownsville, and Haywood County have asked LRK to develop Interim Design and Development Guidelines (IDDG) to help inform the resulting growth and change this significant investment is likely to spur.

The IDDG are being developed based upon community input gathered during a series of public engagement opportunities. With support from the Joint Economic and Community Development Board (JECDB) serving as the IDDG Steering Committee, Haywood County residents, business owners, and elected officials came together for two Listening Sessions in July. This document contains a recap of the July 7th and July 11th events and a synthesis of input shared by the community.

## Engagement Timeline

- Steering Committee Kickoff, 6/6/2022
- Steering Committee Meeting #2, 6/22/2022
- South Haywood County Community Listening Session, 7/7/2022
- North Haywood County Community Listening Session, 7/11/2022
- Brownsville Community Listening Session #1, 8/2/2022
- Brownsville Community Listening Session #2, 8/2/2022
- Haywood County Vision Work Session, 8/2/2022

## Venue Location and Format

July 7<sup>th</sup> :: South Haywood County :: Mt. Zion Missionary Baptist Church :: Stanton, TN

An estimated 120 people came to the South Haywood County Community Listening Session to learn about the process and to help inform the goals and vision for the community. Attendees received a "Greetings from Haywood County 2032" vintage postcard containing the event agenda and which served as a visioning device that attendees could take home. As planned, LRK gave the introductory presentation over multiple rounds to accommodate the significant turnout, allowing people to move between the presentation, breakout discussions, and dinner buffet.

July 11<sup>th</sup> :: North Haywood County :: Tibbs Firehouse :: Brownsville, TN

An estimated 80 participants gathered at the Tibbs Firehouse with the vast majority arriving prior to or at the scheduled start time of 5:30pm. As such, LRK gave the introductory presentation a single time after which attendees were asked to engage in smaller Breakout Discussion groups.

The presentation included the county's existing conditions, background information, and a case study on the impact of building a large manufacturing facility in Springhill, Tennessee. Over the course of both the North and South Haywood Community Listening Sessions, Steering Committee members served as facilitators for the small group breakout sessions. Participants responded to six questions regarding what defines the community today, and what qualities they want to preserve or enhance.

- Agenda
  - Sign-in & Dinner (see Appendix)
  - Presentation
  - Breakout #1
  - Breakout #2
  - Pin-up
- Breakout Discussion #1 – Where are we today?
  - *What do we cherish about the community today?*
  - *What are the things we would like to improve or may be missing?*
  - *What are the opportunities and threats with change coming to our community?*
- Breakout Discussion #2 – Where do we want to be in 10 years?
  - *How can the qualities we cherish be protected and maintained for future generations?*
  - *What are the areas where growth and change should occur and where is it less appropriate?*
  - *What does the "Greetings from Haywood County" postcard look like in 2032?*

## Synthesis of Community Input

### Breakout Discussion #1: Where are we Today?

#### 1. *What do we cherish about the community today?*

Breakout sessions revealed an overwhelming fondness of the people, places, and atmosphere of Haywood County. Participants cherish the close-knit and family-oriented nature of the community, along with events like Blues Fest and Haywood High School sports. Participants identified the traditions and agrarian lifestyle found in Haywood County as contributing to a sense of peace, quiet, and privacy in the area. A general appreciation was expressed for the lack of congestion, ease of access to shopping and natural areas, and the area's scenic roadways. Participants noted an appreciation for the historic areas found in Downtown Brownsville and Stanton. In addition, attendees defined various parks, churches, and small businesses among their favorite spots around the county.

#### Additional Comments:

- Low crime
- Lack of density
- Hatchie River
- Forked Deer River
- Douglass Community
- "The Amp"
- Stanton Cannery

#### 2. *What are the things we would like to improve or may be missing?*

A variety of services and amenities as well as both soft and hard infrastructure elements were noted as being in need of improvement or may be missing within portions of (or the entirety) of the community. Improved health services and educational opportunities, particularly for young people, were mentioned across multiple breakout discussion groups. Additional services defined as either in need of improvement or as lacking included affordable childcare options and workforce development opportunities. The importance of improving law enforcement and trash management services were noted for potential to benefit the existing community and new residents. Participants were excited by the thought of additional options for dining, grocery, retail, and entertainment. Investments and improvements to road and utility infrastructure were noted as a means to better connect residents to existing and new services and amenities throughout the county.

#### Additional Comments:

- Improved roads and highways
- Meeting/event space
- Upgraded parks, trails, recreational facilities
- Walkability, pedestrian infrastructure and connections
- Activities for youth and the elderly
- Well-planned
- Affordable housing



### Community Listening Session Summary

July 19, 2022  
Page 4 of 7

#### 3. *What are the opportunities and threats with change coming to our community?*

Residents expressed enthusiasm for the potential economic and community development opportunities made possible by the investment in Blue Oval City. Participants noted that resulting change could lead to more schools, colleges, and better conditions for both students and teachers. Alongside more jobs and businesses, attendees expressed appreciation for the potential benefits of a good corporate neighbor including workforce development programs and a stronger general investment in the economic well-being of the local community. Participants noted that greater income diversity and higher tax revenue would serve multiple purposes in boosting the local economy, increase family purchasing power, and improve the general morale of the community. A common discussion point included the opportunity for new commercial and residential development to go hand in hand with additional, enhanced infrastructure.

#### Additional opportunities:

- Growth in church communities
- Long-term housing
- Youth retention
- Preservation of natural resources
- Improved recreation

Participants also voiced concern regarding the intensity, location and character of potential change. Attendees expressed concern over the impact of potential population growth on existing road infrastructure, utilities, and county/municipal services. Feedback also noted that more people living in Haywood County could threaten the interconnected, small-town feel that many cherish about the community today. Participants also discussed potential negative outcomes resulting from a lack of preparedness and community planning. Sprawl, loss of farmland, and a general lack of adherence to the county's vision were frequently mentioned threats related to poor planning and implementation. A common set of concerns expressed by attendees focused on the prospect of higher property taxes and prices that could lead to displacement or homelessness.

#### Additional threats:

- Congestion and traffic
- Inequitable distribution of opportunities
- Lack of affordable housing
- Misinformation about incoming development
- Closed-minded mentality

Noteworthy among the feedback received are the issues, impacts and frequency at which population growth was identified as both opportunity and threat. One example of a common discussion point: the varying perspectives and backgrounds of new residents may not precisely align with the existing community, yet added diversity provides an opportunity for learning or innovation. Participants also expressed mixed feelings about the types and form of retail that make sense for Haywood County with specific references to the benefit of retail services provided by strip malls and big box stores while also considering their scale and form. These conversations



### Community Listening Session Summary

July 19, 2022  
Page 5 of 7

included relation and impact of said retail on small businesses contribute and to the differing senses of scale and opportunity.

#### Breakout Discussion #2: Where do we want to be in 10 years?

#### 4. *How can the qualities we cherish be protected and maintained for future generations?*

While Listening Session attendees discussed their vision for the future of Haywood County, they were able to propose a series of ideas for protecting and maintaining quality of life for future generations. The majority of participants talked about the need for a strong planning culture as a way to implement the county's vision and goals as ascertained from comments describing the need for a planning and code enforcement department, informed zoning revisions, and sustainable fiscal planning. Attendees described the need for any new residential developments to be well-planned, while particular consideration should be given to non-corporate developers whose values align with the community vision. Several discussion groups described an education hub around the high school where youth and families could gather. Participants described church camps, horse shows, and collaborations between community organizations as initiatives that could build community between newcomers and current residents.

#### 5. *What are the areas where growth and change should occur and where is it less appropriate?*

Attendees at the North and South Haywood Listening Sessions had similar feelings about where growth and change would be appropriate in Haywood County and where it would not be appropriate. Participants generally described a preference for growth and change occurring in and around the Brownsville and Stanton, specifically the existing centers of those communities (downtown). Many attendees also expressed a preference for prioritizing the repurposing of existing underutilized buildings (and properties). Participants also voiced a preference for a cohesive design approach being applied to new storefronts and facades. In addition, attendees noted commercial development would make sense along I-40, specifically describing new services and amenities being developed around Exit 56.

#### Additional appropriate areas for growth and change:

- East Main Street
- Charleston Road
- Anderson Avenue
- Court Square
- Areas with adequate infrastructure

Participants expressed a desire that natural areas to be protected from development, including the Hatchie River, the Hatchie River National Wildlife Refuge, the Forked Deer River, and hunting areas. Attendees expressed a desire to protect quality farmland as much as possible. In addition, participants noted a need to protect areas around county schools. Feedback received noted that the maintenance of greenspace and recreational areas remains a high priority for the community. The continued preservation of historic districts was also defined as a high priority among attendees.



### Community Listening Session Summary

July 19, 2022  
Page 6 of 7

Additional inappropriate areas for growth and change:

- Congested areas
- Housing in industrial area

#### 6. *What does the "Greetings from Haywood County" postcard look like in 2032?*

Participants painted a picture of abundant natural resources and wildlife alongside families enjoying recreation and entertainment opportunities. Attendees also described a diverse population engaged with a range of activities including walking to destinations and activities including shopping and dining, gathering for events old and new, and farming. Descriptions included working with corporate partners (Ford) towards ecological and technological innovation. Descriptive imagery included Blue Oval City, the Hatchie River, Courthouse Square, historic homes and churches, electric vehicles, fields of cotton and soybean, and, of course, Tina Turner.

Participants paint a picture of a vibrant and engaging future built upon ecological and economic sustainability and diversity at a scale that embraces the small-town character and interpersonal connections they cherish. Attendees described a combination a balance between accessible amenities and the rural way of life. The below quotes capture the essence of Haywood County's past, present, and future:

- "A Good Place to Live"
- "Respect our Past, Love our Future"
- "A Beautiful Town with a Great Heart"

#### Executive Summary and Commentary

The Listening Session held on July 7th and July 11th were by many measures very successful. Attendance exceeded even the most optimistic projections described in Steering Committee meetings leading to the events. Individual Steering Committee members are commended for their preparation, support and participation leading up to and in the Listening Sessions.

General feedback and observations noted participants appeared to be both forthright and eager to engage at both sessions. Examples shared described instances in which participants may not have shared similar opinions during discussions but found common ground in their appreciation for the community and a desire to achieve improved outcomes in the future. As a general comment, participants were observed continuing conversation after the meetings and that the general mood and comments expressed by attendees on departure was remarkably positive and upbeat.

Participants expressed a great deal of appreciation for Haywood County and its many varied attributes. A common theme among participants defined Haywood County as being composed of neighborhoods and communities that are diverse in their size, location and population and united by shared core characteristics and values.

- Close-Knit Community
- Small-town Character
- Variety in Landscape and Place
- Authentic Haywood County

Attendees expressed a balanced outlook between optimism and reservation when evaluating the potential impact resulting from change and growth. Feedback describes a community that understands change is likely and is prepared to support/accept growth but strongly desires future development and investment occur in a way that supports broader community goals and vision. Specifically, participants expressed a desire to ensure development and change enhance the values and character most cherished by the community and is implemented in a way that is authentic to Haywood County.

#### Appendix

Sign-in Sheets  
Breakout Discussion Comments  
Additional Feedback

# BROWNSVILLE LISTENING SESSIONS - SIGN-IN SHEETS

HAYWOOD COUNTY LISTENING SESSION	
Location:	Meeting Date:
East Side Elementary	August 2, 2022

Name	E-Mail
Nicole Bond	hubbard2713@bellsouth.net
Brittany Pittman	brittany.pittman@hcsk12.net
Leigh Anne Allen	leigh.allen@hcsk12.net
Sharon Hayes	
Shelby Boogs	shelby.boogs@hcsk12.net
Christina Hernandez	christina.hernandez@hcsk12.net
Tracy H. Cheney	tracy.cheney@hcsk12.net
Flamesha Taylor	flamesha.taylor@hcsk12.net
Sarah Aitken	sarah.aitken@hcsk12.net
Corderrell Comage	Corderrell.comage@hcsk12.net

HAYWOOD COUNTY LISTENING SESSION	
Location:	Meeting Date:
East Side Elementary	August 2, 2022

Name	E-Mail
Loeva Jackson	loeva.jackson@hcsk12.net
Jordan Perry	
Paula Taylor	
Mua Jant	darrettiv@yahoo.com
Liah Bryham	
Clay	xxiv.clay@hcsk12.net
Renwon	renwon.munn@hcsk12.net
Steph	stephen.may@hcsk12.net
Patrick Bryant	patrick.bryant@hcsk12.net
DeRayiz Clayton	derayiz.clayton@hcsk12.net

HAYWOOD COUNTY LISTENING SESSION	
Location:	Meeting Date:
East Side Elementary	August 2, 2022

Name	E-Mail
Cherie White	c.rena4@gmail.com
Kimberly A. Bell	kimberly.bell@hcsk12.net
Charke Campbell	Charke.Campbell@hcsk12.net
Rachel Terry	Rachel.Terry15@yahoo.com
Takeyra Flowers	takeyra.flowers@hcsk12.net
Dachawn Pickens	dachawnpickens@gmail.com
Cheri Williams	cheriwilliams@yahoo.com
Billie J. Currie	
Tyrone Shaw	
Samantha Wiley	wileysamantha23@gmail.com
Kevin Perry	klerry16@yahoo.com
Ashley Harsy	adharsy@gmail.com
Michael Banks	michael@banksbwfirm.net
Gabe Hart	gabe.hart@hcsk12.net
Juanita Austin	Nita Austin 41@yahoo.com
Lenora Oldham	lenora.oldham@hcsk12.net
Jaclyn Eubanks	jaclyn.eubanks@hcsk12.net
Jolyn Haynes	jolynhaynes@hcsk12.net
Cindy Moore	Cindy.moore@hcsk12.net

HAYWOOD COUNTY LISTENING SESSION	
Location:	East Side Elementary
Meeting Date:	August 2, 2022

Name	E-Mail
Darrence Deke	darrence.Deke@hcsk12.net
EMANYE ROBERTSON	emanye.robertson@hcsk12.net
Dimitrius Sneed	dimitrius.sneed@hcsk12.net
Fitzgerald Mann	fitzso99@yahoo.com

HAYWOOD COUNTY LISTENING SESSION	
Location:	Haywood Elementary
Meeting Date:	August 2, 2022

Name	E-Mail
Kimber Taylor	Kmtaylor1@xhodi.com
TOM SKEHAN	tskehan@swtdc.org
Lynn Menendez	lynn.menendez@gmail.com
Sharon Keyes	
Melinda Aaron	melindaaron@gmail.com
Terry Grimes	terry.grimes@eplus.net
Greta Sanders	
Belinda Sellari	belinda.sellari@bellsouth.net

# BROWNSVILLE LISTENING SESSIONS - COMMUNITY FEEDBACK

Good Place to Live  
 Tomcat Pride  
 Community is "Pro" Kids  
 Helpfulness "Sense of Community"  
 Inclusiveness  
 Town Pride  
 Culture  
 History of Community

Values  
 Greenspace "Retain" them

2) Keep Shopping Centers to a minimum  
 Crime Increasing  
 Property Values lowering  
 Keep taxes low <sup>keep the money in the</sup>  
 Retain Population <sup>community</sup>

2) Recreational Areas  
 Exercise with Indoor Pool  
 WATER PARK  
 INDOOR WATER PARK  
 Movie & Theater  
 Restaurants  
 Retail Activities

2) Signage could be Improved  
 Keep signage to standards  
 Widen Streets  
 Expand Roads/Hwy  
 Sidewalks  
 Bike Lanes  
 More Activities for Kids

Better Access Road  
 Loop Around County  
 access smaller communities  
 Convenience  
 Need Shopping Places  
 Need Bowling  
 Something to make commute worthwhile  
 Welcoming Center Referral  
 -place to go for knowledge of services  
 -website w/ what's happening here.

Need Steak Restaurant  
 Police Sub Stations  
 Cameras (Security)  
 Patrol  
 Combine Schools with Parks



Schools Attach Colleges  
TCAT

Upgrade Lighting  
Low Impact lighting  
for Migratory Birds

Upgrade Utilities  
Public Transportation  
Trolley

Music Venues  
POST CARD

- Show Diversity
- Show Ecology Diversity

Have Community Planning Center  
Need Museums

Public Charging Stations  
Build a Public Labyrinth  
Mountain Bike Trail  
Protect Aquifer & Water  
~~More~~ Development Outside of  
Primary Watershed

We WANT Controlled Growth  
Diversified Housing  
Housing Equity  
Type & Cost of Housing  
Senior Center  
Multifamily w/ Amenities  
Limit Straight Streets  
In Subdivision

<sup>Subdivisions</sup>  
Gently Winding Roads  
in Subdivisions  
No Zero Lots  
Subdivision have Activity Center  
Subdivision of 50-75 Homes  
Have 1/4 acre lots  
Have ~~Other~~ Coves  
Update Codes

More things for kids  
Need YMCA and Youth Activity  
Internship & Job Preparation  
Not Be Over Reliant on 1 Industry

# BROWNSVILLE LISTENING SESSIONS - COMMUNITY FEEDBACK

## Breakout 1 - What Do You Like?

- togetherness
- Small town values
- faith community - churches
- Hachie River
- Open / Peaceful / welcoming environment
- History of music
- Culture

## What's missing?

- activities for youth
  - bowling
  - swimming
  - skating
  - gymnastics
  - movie
- affordable housing
- restaurants (open Sunday)
- better housing
- Shopping Centers
  - retail opportunities
- Communication
- jobs for youth
- Stronger focus on academics
- take free college courses in H.S
- Senior activities/projects

## Threats / Opportunities?

- Taxes increase
- Environment for animals
  - negative impact on habitat
- Increase of rent
- Increase of home insurance
- More people may bring more crime
- more people may require more resources
- Congestion
- generational gaps in opportunities
- Personal connection taken away
- Small industries drive out / impacted
- lack of employment diversity
- Value of home increases
- Smaller businesses may prosper
- equality in opportunities
- better public transportation
- better infrastructure
- Keeps moral compass / Family of Haywood

## Breakout 2

10 years → maintain

- be conscientious of what we want to maintain
- newspaper / constantly reminded
- historic district
- get youth involved

## Where should growth occur? / Not occur

- Outskirts
- Local Communities
  - where crime is happening
- Fairgrounds Area
- School / Education / Tutor
  - ↳ in Stanton
  - ↳ South part of County
  - ↳ Forked Deer
  - ↳ Nut Bish
- In the town
  - downtown

## "Greetings From Haywood Postcard"

- "Come grow with us"
- People / music
- gospel Festival
- Peach Festival
- Fall Festival
- activities at the Hachie
- International bird festival

Favorite place/event:

- Walmart
- Internet
- Sports
- homecoming parade
- Christmas parade

What's missing?

- Community center
- "hang out"
- Movies
- Shopping
- food places/restaurants
- Golf
- hiking/biking
- good sidewalks
- Top Golf
- parks
- basketball courts
- paint ball

Opportunities

- healthcare (improved)
- New schools
- better technology
- better athletic facilities
- larger population - more students etc
- better housing
- properties increase to fund better infrastructure + salaries
- competition
- hotels

Threats

- higher housing prices
- Crime?
- increased traffic congestion
- will salaries increase for higher costs
- competition
- effect on farmers
- (farming) agriculture

Where do we want to be in 10 years

- Sense of community
- Haywood County pride
- good sports
- opportunity for BEST Education with the right resources
- equestrian center

10 years →

Where do things need to change:

- daycare options
- better education, retain more students
- outdoor events
- recreation other than sports
- great neighborhoods + places to live

Greeting from Haywood Co

- Tina Turner
- Tomcat logo
- Hatchie Eagle
- vibrant downtown

# BROWNSVILLE LISTENING SESSIONS - COMMUNITY FEEDBACK

What do we cherish about the community today?

- small community - diversity  
connectedness
- small business owners - no traffic
- support each other (help!)
- support of schools
- country living; charm

What improvements, missing today?

- activities for youth (movies)
- activities/entertainment adults, too!
- larger restaurants
- more chain opportunities  
Kroger, Target, etc.
- school upgrades - parks
- broadband improvements
- more involvement of younger generation

10 years

- How can the cherished qualities be protected + maintained for future generations? - schools
- be clear on growth/development  
planning commission enforcement
- events to keep the community connectedness
- accessibility to downtown
- engage youth (opportunities; higher ed)
- community college in Haywood County  
- hospitals

10 years

- Where should growth/change occur? Where is less appropriate?
- growth around downtown; town center
  - around interstate
  - less appropriate  
- agriculture space


2032 Postcards

- Greetings from Haywood
- community landscape (new growth)
  - community industries
  - agriculture - BOC - F-150
  - Family - Tomcats - Mindfield
  - Hatchie - Music

Today - workforce <sup>(salaries)</sup> development

- increased crime rates -
- congestion; traffic increase -
- displacement (homeless) - rental increase
- housing (development) +
- growth = \$ spent
- connect small town charm w/ development

KM

Small town feel  = Rural atmosphere

Coast Square

Good People

Utilities as a service (The ease is what's loved all things in one)

Good public services

Farming

#2 38069 cap calc

convenience of the City over on their commute

Schools in Stanton (Elementary, closer Highschool)

Sanitation Public Services

Restaurants

Infrastructure

Housing (All Forms) Single Family Clusters or cottages... 5 acre lots ?

Resolutions ; Ordinances regulated

Community Centers

where should the growth occur? #2

In the educational system

- NO to the river
- NO to the Heart of Brownsville Pre schools
- YES to the Heart of STANTON
- YES to extending Busi. on Jefferson St.
- YES to highway 70 and the areas around it

Post Card:

convention center in STANTON

renovation of stanton school near Mt. Zion church ; Activities occurring

Strip mall STANTON

Families • Industry • River

People

Connectivity

Ease + Comfort

Threat	Opportunities
Expanding Education	• Good Paying Jobs
Crime	• Improved Education
Traffic (Easy to understand vehicular flow)	• Walkability
To expensive	• Green Communities
Daycares (lack of)	• Shopping + Food options
	• Expanding Education
	• Educators + increased pay
	• Retirement Homes
	• Pool growth <small>But is too small</small>
	• Activities for all ages but especially for younger

#3

• Community Engagement

- Plays
- Games
- > Carington ex. monthly evening events ; active community
- Promote engagement and continue to grow it.

• County Commission

- Unified leadership!

• More integrated county

- relationships
- show care

• Strategic County Growth (Stanton)

Problem: Stanton lives don't live in Stanton  
Our Why?

# BROWNSVILLE LISTENING SESSIONS - COMMUNITY FEEDBACK

Scribe - Sharon

Where are we?

Rural

Hatchie

Good Roads - No Congestion

Historic Properties

Neighborhoods

Tomcats

What's Community Now

Need to clean-up <sup>Crime, drugs, gangs</sup>

What types coming? <sup>gangs</sup>

With new growth

16K new workers

Family Events & Festivals

Faith-Based Comm.

Living & Fundraisers

Things to Change:

Increase teacher pay

Improve Schools

Training Colleges/Programs

Young Workforce Attractions

Expand Retail

More Restaurants

Kid activities

Need Wastewater

Downtown Parking

Theaters

Daycare

More recreation

Healthcare Improvements

Garbage Dumpsters <sup>yuck!</sup>

Need to

High Speed Internet!

Rural need

Threats - Needs

Crime

Homelessness

Garbage

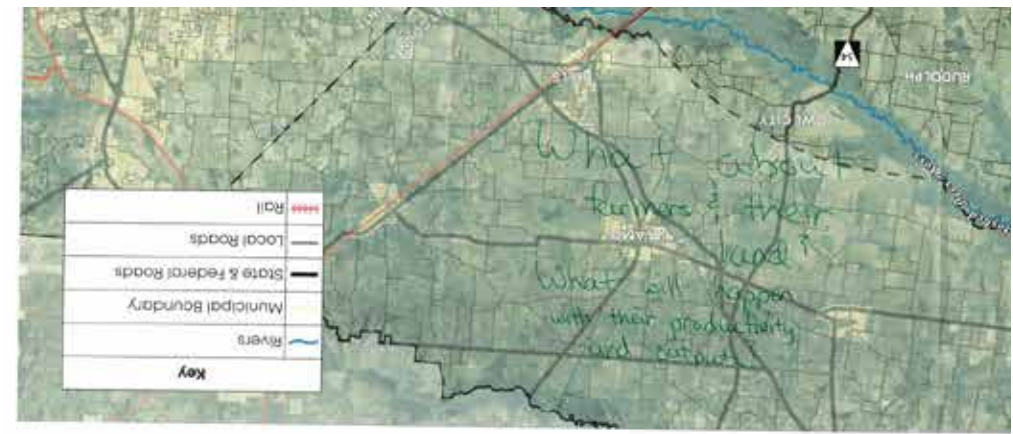
Stress on health care sys.

Senior Care

Daycare - children

Infrastructure

10 years?  
 New leadership  
 Improve Communication  
 TIFs? Impact Fees?  
 Good Zoning + Planning  
 Strong Schools + leaders  
 +- Lane to Stanton  
 New Schools  
 Teacher Pay ↑  
 Water park  
 Table Sports Complex  
 until schools are built  
 Lake plans?  
 - Public Transportation  
 - Smart Planning for  
 Residential Const.  
 Quality Growth  
 - Learn New Cultures  
 - Reinforcement  
 of Ordinances  
 - Higher Ed/Colleges



# BROWNSVILLE LISTENING SESSIONS SUMMARY



Architects | Designers | Planners  
50 South B. B. King Blvd.  
Suite 600  
Memphis, TN 38103  
901.521.1440



Community Listening Session Summary  
August 8, 2022  
Page 2 of 7



Community Listening Session Summary  
August 8, 2022  
Page 3 of 7

August 8, 2022

**TO:** Interim Development Design Guidelines Steering Committee

**FROM:** Jonathan Flynt

**RE:** Community Listening Session Summary, August 2022

## Background/Purpose

Ford Motor Company is preparing construction for 'Blue Oval City,' an electric vehicle plant to be located in the southwestern corner of Haywood County. Once operational, the "mega campus" will employ approximately 6,000 people. The Industrial Development Board of the City of Brownsville and Haywood County Tennessee, the City of Brownsville, and Haywood County have asked LRK to develop Interim Design and Development Guidelines (IDDG) to help inform the resulting growth and change this significant investment is likely to spur.

The IDDG are being developed based upon community input gathered during a series of public engagement opportunities. With support from the Joint Economic and Community Development Board (JECDB) serving as the IDDG Steering Committee, Haywood County residents, business owners, and elected officials came together for two Listening Sessions in August. This document contains a recap of the August 2nd events and a synthesis of input shared by the community.

## Engagement Timeline

- Steering Committee Kickoff, 6/6/2022
- Steering Committee Meeting #2, 6/22/2022
- South Haywood County Community Listening Session, 7/7/2022
- North Haywood County Community Listening Session, 7/11/2022
- **Brownsville Community Listening Session #1, 8/2/2022**
- **Brownsville Community Listening Session #2, 8/2/2022**
- Haywood County Vision Work Session, 8/2/2022

## Venue Location and Format

### August 2nd :: Central Haywood County :: East Side Elementary School :: Brownsville, TN

An estimated 45 people came to the first Central Haywood Community Listening Session to learn about the process and to help inform the goals and vision for the community. Attendees received a "Greetings from Haywood County 2032" vintage postcard containing the event agenda, a reminder for the night's work session, and to serve as a visioning device that attendees could take home.

### August 2nd :: Central Haywood County :: Haywood Elementary :: Brownsville, TN

An estimated 10 participants gathered at Haywood Elementary around 2 in the afternoon. LRK gave the introductory presentation a single time after which attendees were asked to engage in a Breakout Discussion.

The presentation included the county's existing conditions, background information, and a case study on the impact of building a large manufacturing facility in Springhill, Tennessee. Over the course of the Central Haywood Community Listening Sessions, Steering Committee members served as facilitators for the Breakout Discussion sessions. Participants responded to six questions regarding what defines the community today, and what qualities they want to preserve or enhance in the future.

- Agenda
  - Sign-in (see Appendix)
  - Presentation
  - Breakout #1
  - Breakout #2
  - Pin-up
- Breakout Discussion #1 – Where are we today?
  - *What do we cherish about the community today?*
  - *What are the things we would like to improve or may be missing?*
  - *What are the opportunities and threats with change coming to our community?*
- Breakout Discussion #2 – Where do we want to be in 10 years?
  - *How can the qualities we cherish be protected and maintained for future generations?*
  - *What are the areas where growth and change should occur and where is it less appropriate?*
  - *What does the "Greetings from Haywood County" postcard look like in 2032?*

## Synthesis of Community Input

### Breakout Discussion #1: Where are we Today?

#### 1. *What do we cherish about the community today?*

Breakout sessions revealed a community that values a welcoming small-town feel, the helpfulness of community members, and is supportive of growing families and education. Participants cherish local culture, values, and history as important aspects of what makes Haywood a good place to live. Participants noted that small-town pride encourages a supportive and inclusive environment within the community for small business owners, students, and farmers. Events such as local athletics and festivals embody and reflect this support within the community. A general appreciation was expressed for the peace, charm, and lack of congestion within the county. Attendees noted various schools, churches, local businesses, and greenspace as aspects of the county that they cherish.

#### Additional Comments:

- Community is "Pro-Kids"
- History of music
- Hatchie River
- South Fork of the Forked Deer River
- Tomcat Teachers and Coaches
- Courthouse Square
- Easy to contact elected representatives

#### 2. *What are the things we would like to improve or may be missing?*

A variety of services and amenities as well as both soft and hard infrastructure elements were noted as needing improvement or missing within portions, or the entirety, of the community. County-wide resources like welcome centers, healthcare services, and knowledge of community services were mentioned throughout the breakout discussion groups. Additional opportunities such as job training, encouraging involvement of younger generations, and expanding the education/school network were discussed. Participants noted the importance of attracting and keeping people in the county through improvements to family-friendly recreational and entertainment activities, such as indoor recreation centers and local eateries. Investments and improvements to road and utility infrastructure were noted as a means to better connect residents to existing and new services and amenities. Of note was the introduction of some form of electric public transit to connect those working at Blue Oval City and others to Haywood County. Participants also noted corridors leading into existing town centers that could be improved with signage, landscaping, and general maintenance to create attractive gateways. Participants were excited by the thought of larger scale entertainment venues for music, sports, and other events.

#### Additional Comments:

- Shorter commute to schools
- Low-impact lighting
- Multi-modal transportation
- Walkability and Bikeability
- Infrastructure connections between smaller communities
- Sanitation and Public Services
- Retail diversity in scale and type
- Equitable housing options – range in type and cost
- Engage Youth in Community Leadership
- Parking in Downtown Brownsville





**Architects | Designers | Planners**  
50 South B. B. King Blvd.  
Suite 600  
Memphis, TN 38103  
901.521.1440



**Community Listening Session Summary**  
August 8, 2022  
Page 5 of 7



**Community Listening Session Summary**  
August 8, 2022  
Page 6 of 7

### 3. *What are the opportunities and threats with change coming to our community?*

Residents expressed enthusiasm for the potential economic and community development opportunities made possible by the investment in Blue Oval City. Participants noted that resulting change could lead to job availability which in turn would encourage retention of younger generations within Haywood County. Participants indicated more small businesses and opportunities would lead to more money invested in the county, higher property values, and an increase in the tax base that could be used to fund infrastructure improvements. Hope was expressed that the environmental emphasis of the Ford Plant would encourage enhanced focus on the Hatchie River, agricultural landscape, and natural features within the county. Participants ultimately expressed an interest in a balanced approach to growth that did not rely too heavily on any one investment with the intention that growth would be maintained for the future.

#### Additional opportunities:

- Equality in opportunities
- Need for job preparation
- Improved healthcare
- Increased business competition
- Opportunity to update code enforcement and regulation
- Attraction and Retention
- Electric Public Transportation

Participants voiced concern regarding the economic impacts, risks to existing businesses, and resource availability that would be affected by change. Attendees expressed concern over the potential growth on existing road infrastructure, utilities, and county/municipal services, and how an increase in population would lead to an increase in the space required to accommodate utilities and services. Sprawl, loss of farmland, and a general lack of adherence to the county's vision were frequently mentioned threats related to poor planning and implementation. Feedback also noted concerns regarding the erosion of local businesses and places, such as downtown Brownsville, due to an over-reliance on incoming industry and businesses. Participants also shared concerns about generational gaps in opportunities and noted the lack of child daycares and senior care in the county. A common set of concerns expressed by attendees focused on the prospect of higher property taxes and prices that could lead to displacement or homelessness.

#### Additional threats:

- Increased congestion and traffic
- Inequitable distribution of opportunities
- Lack of affordable housing
- Increase in crime
- Misinformation about incoming development
- Environmental risks on native animal populations and farmland
- Inability to attract and retain

Noteworthy among the feedback received is that competition, resources, and property values increasing were identified as both opportunities and threats. One example of a common discussion point: the increase in development and growth will lead to higher taxes that could price people out of a market where the perception is that demand already exceeds supply. This concern is balanced with acknowledgement that additional industry and business will provide job opportunities and potentially make more money available within the community. Participants also noted the impact of development on the land and environment as both opportunity and threat, identifying Ford's emphasis on green energy, an enhanced focus on the natural features of Haywood County, and the impact on existing farmland.

#### Breakout Discussion #2: Where do we want to be in 10 years?

#### 4. *How can the qualities we cherish be protected and maintained for future generations?*

While Listening Session attendees discussed their vision for the future of Haywood County, they proposed a series of ideas for protecting and maintaining quality of life for future generations. Most participants discussed the need of a conscientious effort to highlight what should be maintained and the importance of engaging younger generations as leaders in these efforts. To maintain the sense of connectedness that participants cherished, participants suggested increasing county-wide events, making downtown Brownsville more accessible, and intentionally designing residential neighborhoods for walkability. Several discussion groups described a local education hub with various amenities where youth and families could gather. Most participants talked about the need for a strong planning culture as a way to implement the county's vision and goals as ascertained from comments describing the need for a planning and code enforcement department, informed zoning revisions, and sustainable fiscal planning.

#### 5. *What are the areas where growth and change should occur and where is it less appropriate?*

Participants generally described a preference for growth and change occurring in and around Brownsville and Stanton, specifically in the town center of Stanton. Feedback also noted smaller communities around the county where reinvestment could improve the quality of life. In addition, attendees noted commercial development at exit 56 off I-40 and extending businesses along major corridors such as Jefferson Street and Highway 70. Most participants agreed that development around downtown Brownsville would be preferred while maintaining the character of the square. The discussion groups also expressed the need for new schools in the county and provided a variety of locations where these centers for education could be located both to engage the current population or to encourage new growth centers in the county.

#### Additional appropriate areas for growth and change:

- South Fork of the Forked Deer
- Nutbush
- Smaller Communities
- Fairgrounds Area

Participants expressed a desire that natural areas be protected from development, including the Hatchie River, the Hatchie River National Wildlife Refuge, and hunting areas. Attendees expressed a desire to protect quality farmland as much as possible. Participants noted a need to protect downtown Brownsville and maintain the current historic districts from out of character development. Feedback received noted that the maintenance of greenspace and recreational areas remains a high priority for the community.

#### Additional inappropriate areas for growth and change:

- Congested areas
- Housing in industrial areas

#### 6. *What does the "Greetings from Haywood County" postcard look like in 2032?*

Participants painted a picture of beautiful natural resources and wildlife alongside school spirit and pride in community events, and businesses. The discussion groups also described new growth in the community, families engaging in recreational activities, and enhanced connectivity between places in Haywood County. Attendees also described an intergenerational population engaged in a range of activities from walking to destinations to activities including shopping and dining, gathering for events old and new, and farming. Descriptive imagery included bird festivals, ecological diversity, live music venues, vibrant downtowns, spirited school events, and Tina Turner.

Participants painted a picture of a vibrant and engaging future built upon ecological and economic sustainability and diversity at a scale that embraces the small-town character and social networks they cherish. Attendees described a combination of balance between accessible amenities and the rural way of life. Participants communicated a preference for a balanced approach to land-uses with one discussion group even noting they did not "want to be just a bedroom community." The below quote captures the essence of Haywood County's past, present, and future:

- "Come grow with us"

#### **Executive Summary and Commentary**

The Listening Sessions held on August 2<sup>nd</sup> were by many measures successful. Both events were attended by participants who were eager to share their hopes, concerns, and experiences as Haywood County. Individual Steering Committee members are commended for their preparation, support and participation leading up to and in the Listening Sessions.

General feedback and observations noted an overarching interest in younger generations and the opportunity to educate and raise children who will cherish and maintain Haywood County for the future. As in the prior listening sessions, examples shared described instances in which participants found common ground in their appreciation for the community and a desire to achieve improved outcomes in the future. Some participants were observed continuing conversation after the meetings and the general mood and comments expressed by attendees on departure continued to be remarkably positive and upbeat.

- Community is "pro-kids"
- Small-town Character
- Variety in Landscape and Place
- Authentic Haywood County

Attendees expressed a balanced outlook between optimism and reservation when evaluating the potential impact resulting from change and growth. Feedback describes a community that understands change is likely and is prepared to support/accept growth but strongly desires future development and investment occur in a way that supports broader community goals and vision. Specifically, participants expressed a desire to ensure development and change enhance the values and character most cherished by the community and is implemented in a way that is authentic to Haywood County.

# HAYWOOD COUNTY WORK SESSION - SIGN-IN SHEETS

HAYWOOD COUNTY LISTENING SESSION	
Location:	Haywood High School
Meeting Date:	August 2, 2022
Name	E-Mail
David M. Livingston	livingston.dmr@aol.com
Mary Ann Sharp	MASharp@bellsouth.net
Debra Winston	debra.winston@hsc.com
Laura P Smith	laurapsmith62@yahoo.com
Jeffrey Richmond	Jeffrichmond102@gmail.com
Peyton Riley	PRiley@InSouth.com
Anakasa Henderson	anakasa.henderson@hcsk12.net
Grace Fergie	grace.fergie@hcsk12.net
Olivia Farrington	ofarrington716@aol.com
Megan Nichols	mmnichols1989@gmail.com
Tressy Halbrook	tressy.halbrook@hcsk12.net
Brittany Avent	brittany.avent@hcsk12.net
Bucky Booth	beckup@smithinsurance.com
Kelsey Nare	kelsey.nare@hcsk12.net
Shenetic Harris	shenetic09@hotmail.com
Willie Battle	wbattle1@utk.edu
Nancy Neceise	Nancy.Neceise@gmail.com

HAYWOOD COUNTY LISTENING SESSION	
Location:	Haywood High School
Meeting Date:	August 2, 2022
Name	E-Mail
Jacqueline Whitten	jackie.whitten@hcsk12.net
Sarah Aitken	sarah.aitken@hcsk12.net
Jandra E. Brown	Aprilwkw@yahoo.com
Gloria Boyland	Jeanboyland@gmail.com
Diana Sims	
Elaine Johnson	memieeljohnson@yahoo.com
Clarice White	c.renate@gmail.com
Barry Sceals	bsceals@teknorapex.com
Valerie Sceals	scealsv@yahoo.com
Paul Jackson	jacksonp@charter.net
Elise Powell	elise.powell@hcsk12.net
Brannon Powell	brannonpowell@yahoo.com
Wally Eubanks	WALLYWORLDW@GMAIL.COM
Carina Verris	CV@brownsville.net
Tanya Harrah	tanya.harrah@hcsk12.net
Andrea Baynes	andrea.baynes@hcsk12.net
Allan Storbinsky	Allan.Storbinsky@gmail.com
Chris Davis	chris.davis@hcsk12.net
Nicole Bond	hubbard2713@bellsouth.net

HAYWOOD COUNTY LISTENING SESSION	
Location:	Haywood High School
Meeting Date:	August 2, 2022
Name	E-Mail
Julie E Barrow Taylor	taylor3186@bellsouth.net
Denise Pearson	denise.pearson@hcsk12.net
Billy Garrett JR	BGARRETT@BrownsvilleTN.gov
GEM BELL	bellgentraise@yahoo.com
Twylla King	twylla.n.king@gmail.com
PAM Winters	pwintersblack@yahoo.com
TOM ARCHER	TomArcher130@gmail.com
J.P. Borden	jp657h@gmail.com
Nicole Johnson	nicole.johnson@hcsk12.net
Michelle Hillman	michelle.hillman@hcsk12.net
Martha Lyle Ford	mlyleford@gmail.com
Anna Roberts	anna.roberts@hcsk12.net
Cedric Blum	Cedric.blum@hcsk12.net
Julian Williamson	julian@eplus.net

**HAYWOOD COUNTY LISTENING SESSION**  
 Location: Haywood High School Meeting Date: August 2, 2022

Name	E-Mail
Jean Wills	jean.wills@hcsk12.net
LARRY LIVINGSTON	LARRY.LIVINGSTON@hcsk12.net
Sharon Hays	
Sandra Silverstein	
Hattie Starks	hattie.starks@hcsk12.net
Sara Payne	
Juanita Hunt	Nita.Austin41@yahoo.com
Robert Matthiis	robert.matthiis@hcsk12.net
Charles Byrum	Charles.byrum@hcsk12.net
Madison Lewis	madison.lewis@hcsk12.net
Art Garrett	art.garrett@hcsk12.net
Ioni Eubanks	eubankstbea@gmail.com
Whitney Bridges	whitneyet1@gmail.com
Jeff Bridges	jeff.bridges@hotmail.com
Corey Currie	Corey.Currie@hcsk12.net
Jim Miller	mill7500@bellsouth.net
Greta Sanders	
EMMA COVINGTON	eruth57@att.net

**HAYWOOD COUNTY LISTENING SESSION**  
 Location: Haywood High School Meeting Date: August 2, 2022

Name	E-Mail
JEREMIAH CAVITT	Jeremiah.Cavitt@hcsk12.net
TOM SKELAN	tskelan@swtdd.org
Joe Stephens	charleston.co@bellsouth.net
Marty Todd	marty.todd@hcsk12.net
Beth Flanagan	bethwallflanagan@gmail.com
Alyssa Marbey	ajzaleski@icloud.com
Joey Hassell	joey.hassell@hcsk12.net
Brett Jones	brett.jones@hcsk12.net
Leonard Byrum	
Donna Byrum	dbyrum@att.net

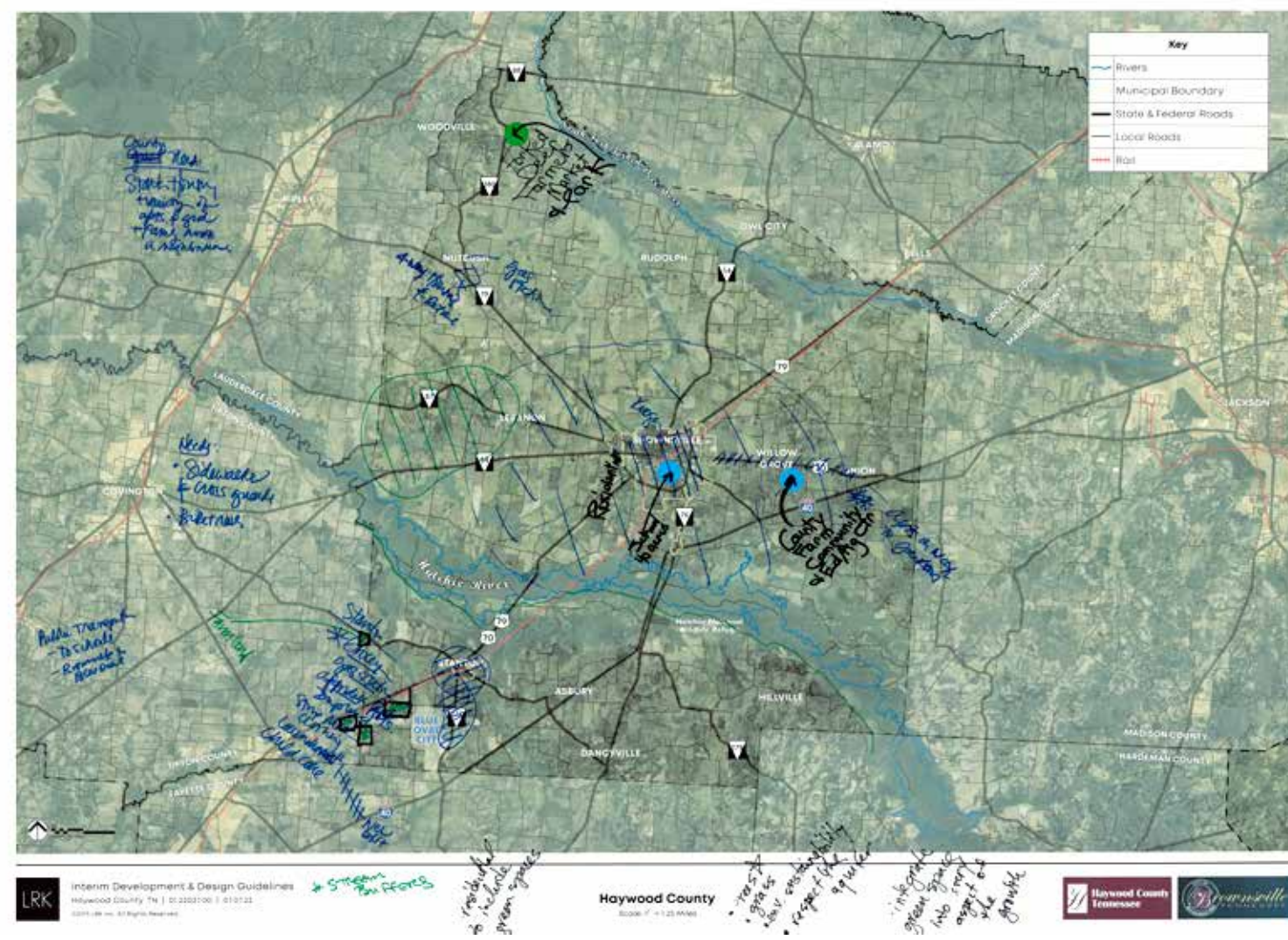
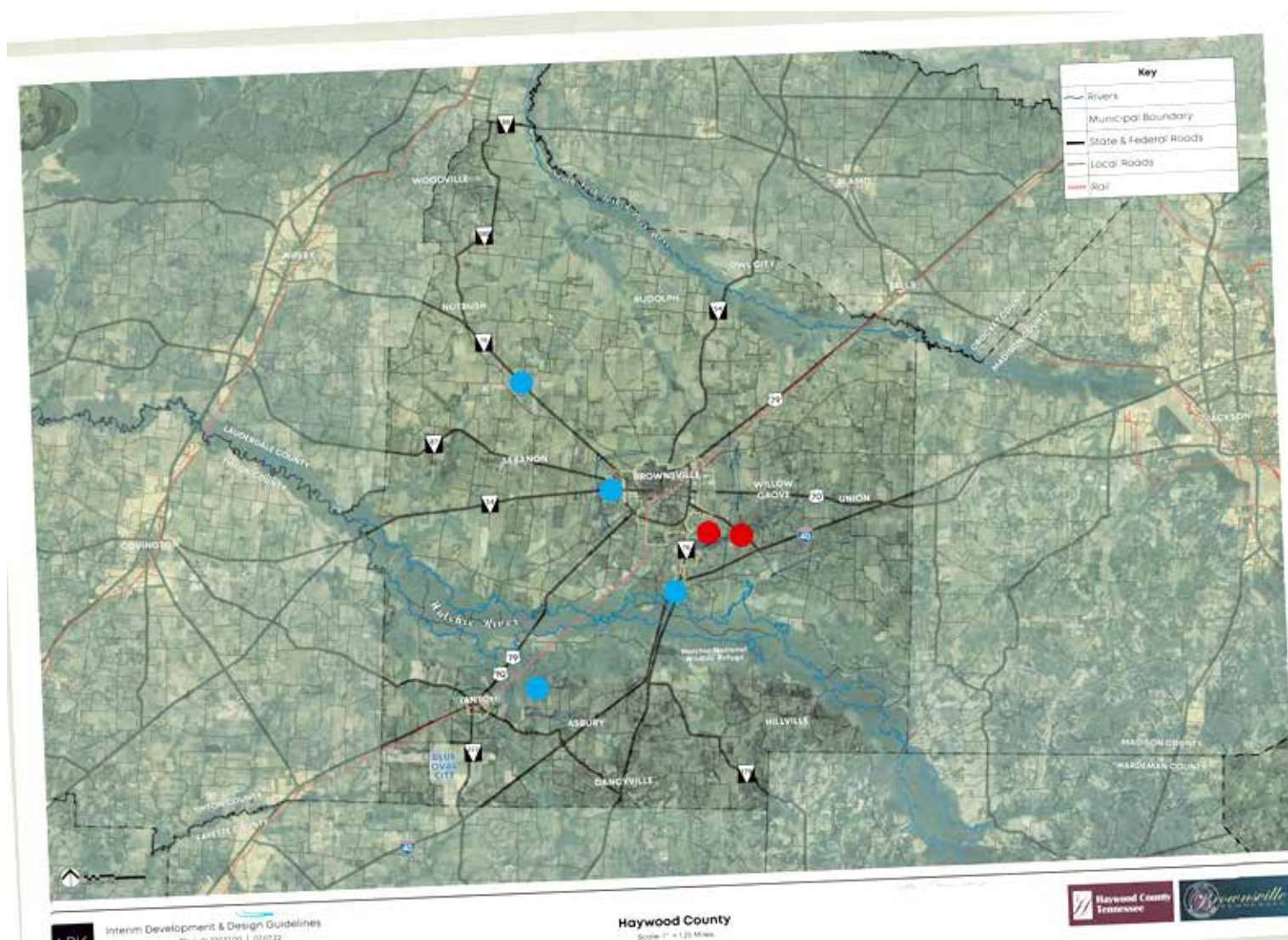
**HAYWOOD COUNTY LISTENING SESSION**  
 Location: Haywood High School Meeting Date: August 2, 2022

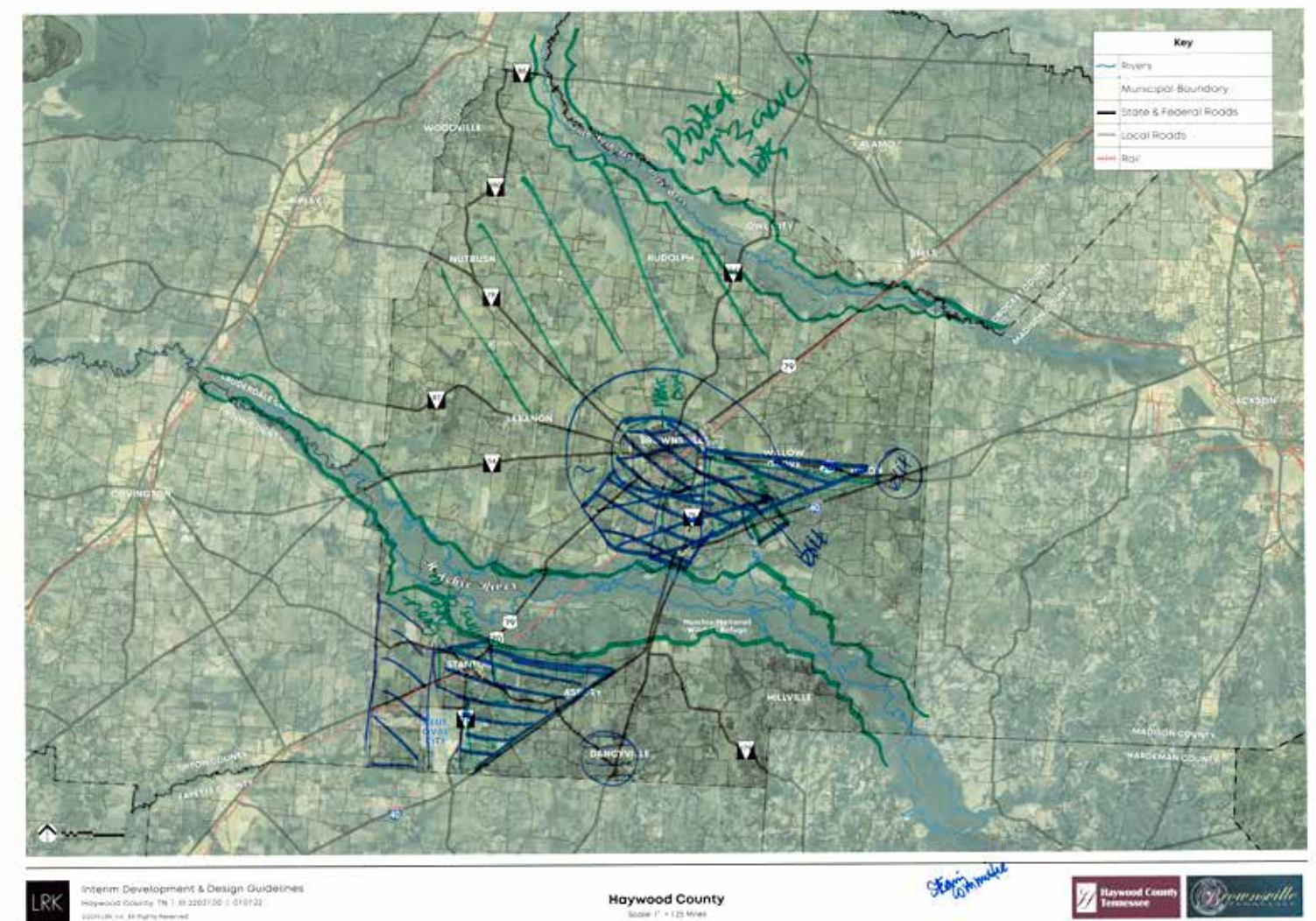
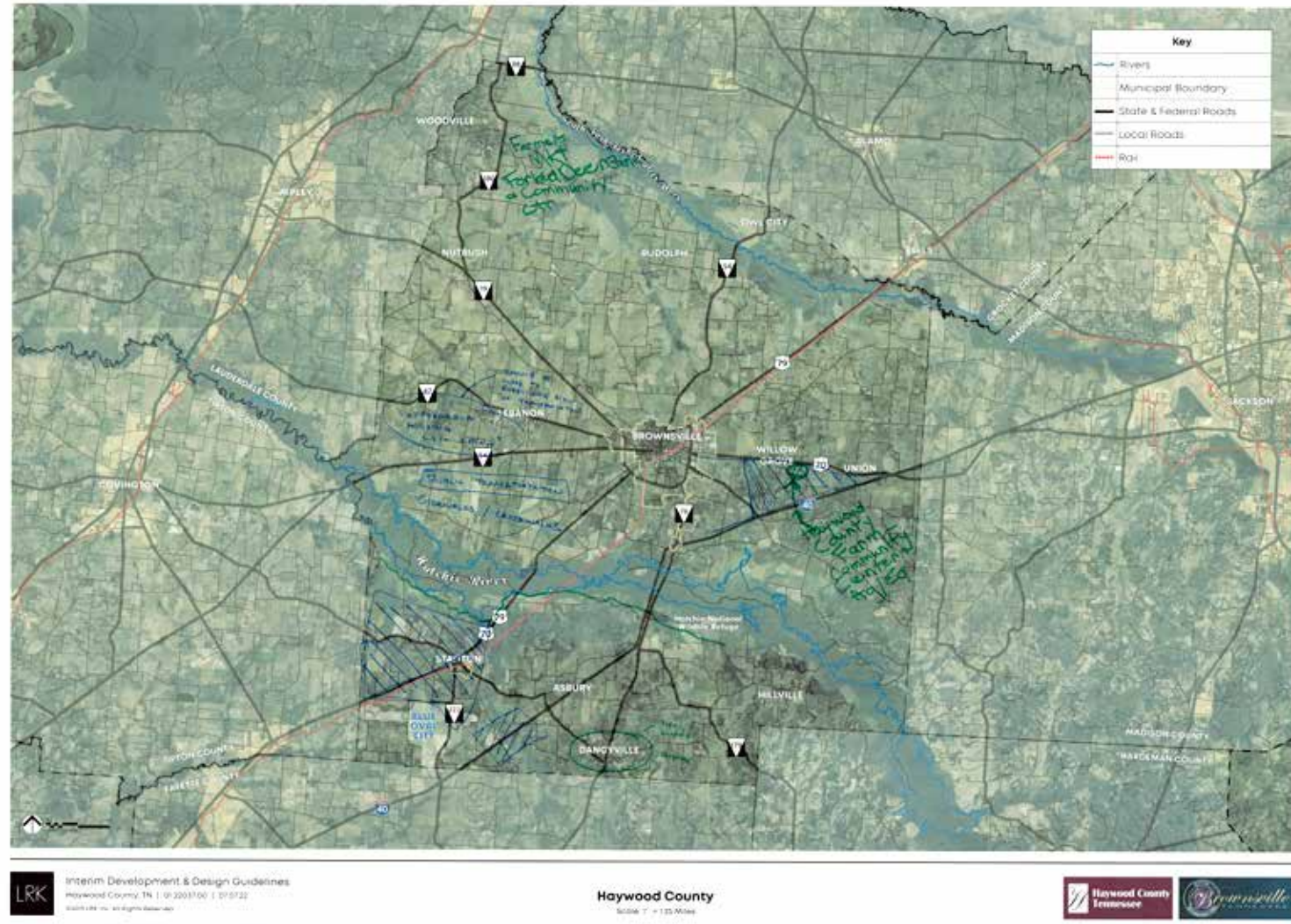
Name	E-Mail
Brenda Wills	M.Skylyend@bellsouth.net
Sharon Young	smlyoung1951@gmail.com
Tucker Johnson	T.johnson.DT@comcast.net
	underson

**HAYWOOD COUNTY LISTENING SESSION**  
 Location: Haywood High School Meeting Date: August 2, 2022

Name	E-Mail
Elizabeth Lovelace	liz_lovelace@yahoo.com
Amy Prince	asprince1223@gmail.com
Rochelle King	Rochelle.L.King@tn.gov
Sonia Outlaw-Clark	
Brittany Pittman	brttany.pittman@hcsk12.net
Alex Aiken	alex.a.iken@hcsk12.net

# HAYWOOD COUNTY WORK SESSION - COMMUNITY FEEDBACK

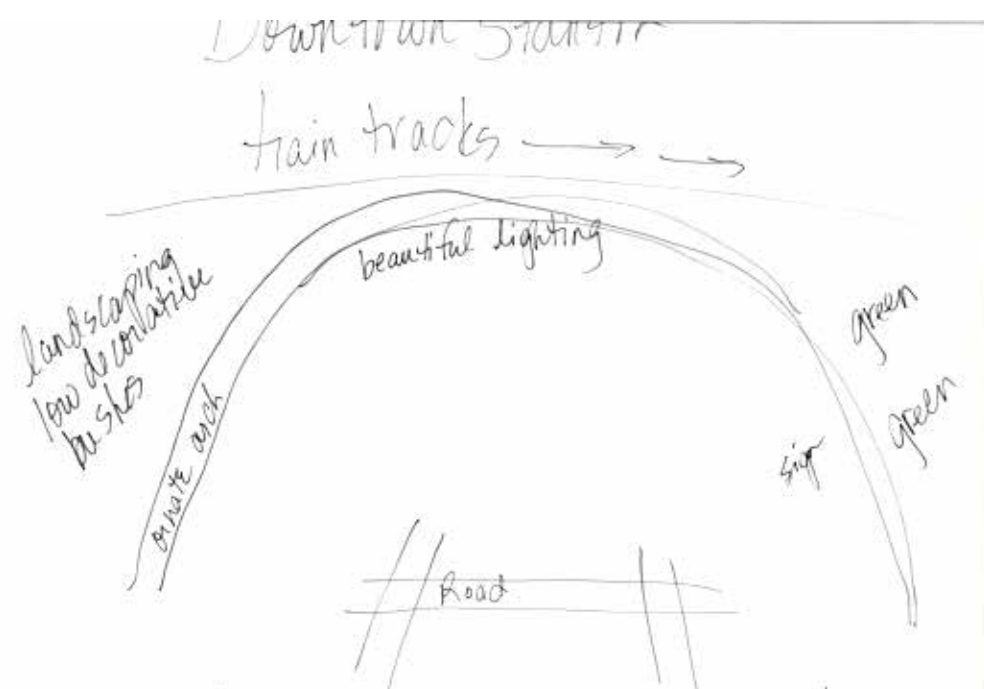






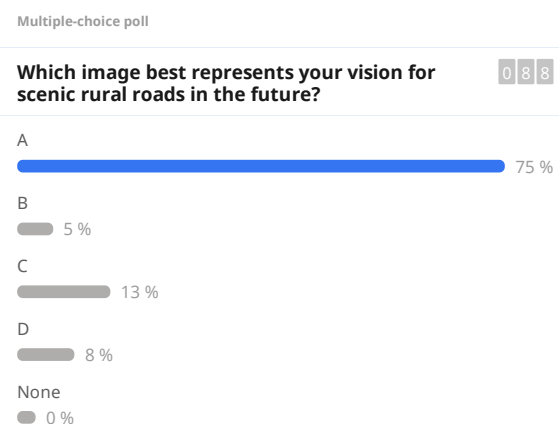
# HAYWOOD COUNTY WORK SESSION - COMMUNITY FEEDBACK AND RAW SURVEY DATA

trees, trees, trees! w/ Ford  
 grass, flowers, less asphalt!  
 Let's be green- Ford will be building green vehicles -  
 let's be a green community!

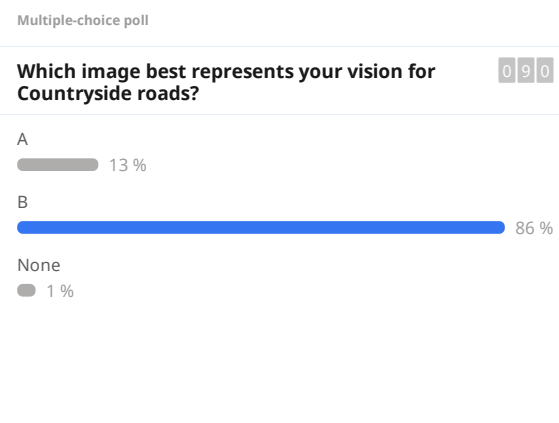


Stanton needs an overpass in downtown  
 so trains coming through do not  
 block/stop traffic throughout the town

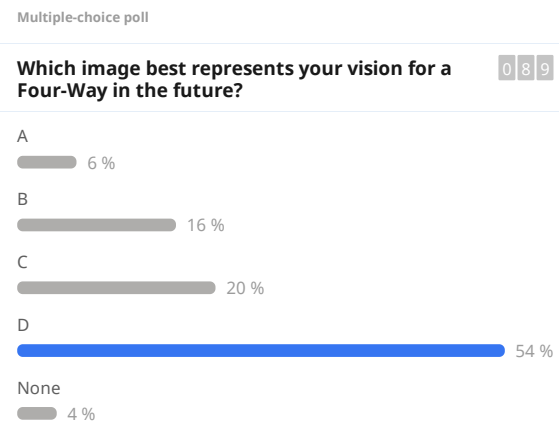
From 8/12/22  
 Connor @ Haywood  
 Haywood



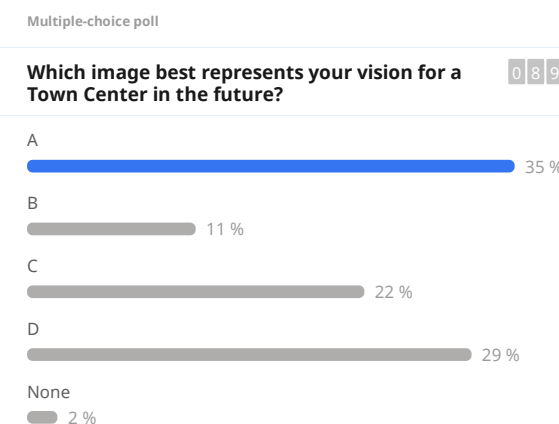
slido



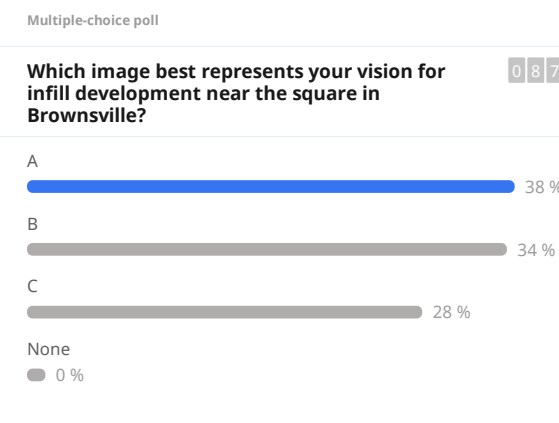
slido



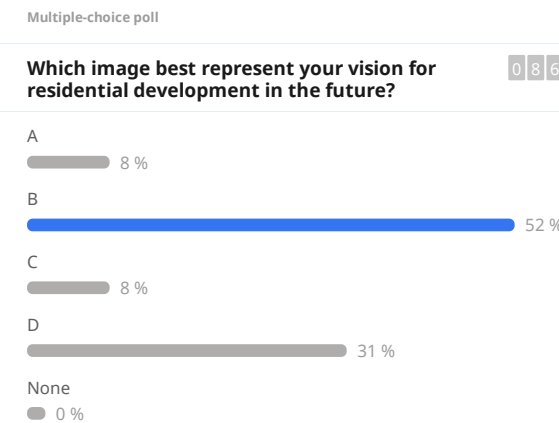
slido



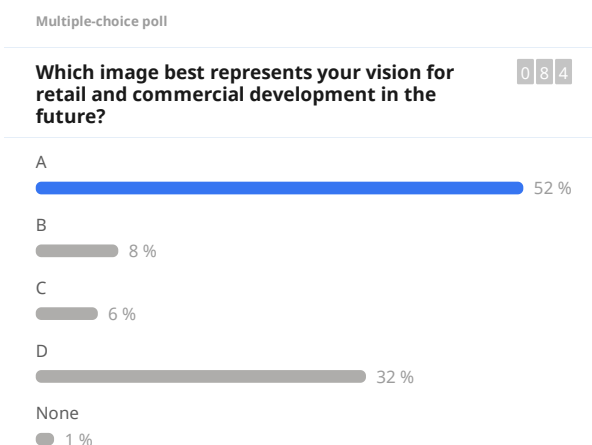
slido



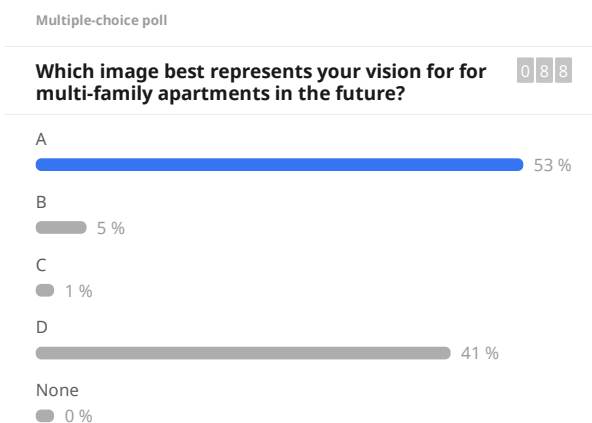
slido



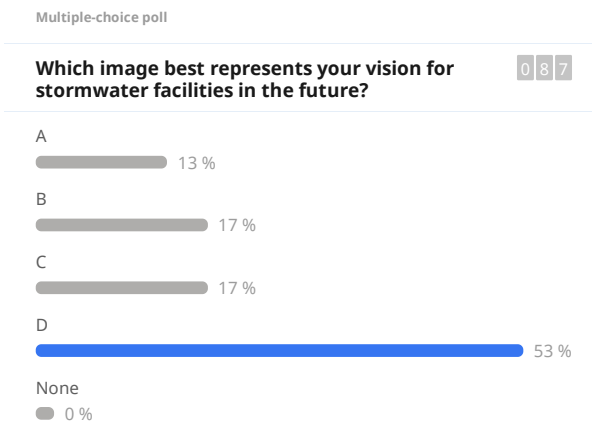
slido



slido



slido



slido

# COMMUNITY VISION SURVEY SUMMARY

## Haywood County Community Vision Survey Results

A visually-based Community Vision Survey was designed to identify citizen preferences for the appropriate character of landscapes, streetscapes, new development, and infill development in Haywood County. The Vision Survey was developed to supplement and provide insight into issues identified by the Steering Committee as well as based on public input from the Community Listening Sessions.

The survey included visual questions arranged into several basic contextual categories and topics ranging from the “countryside” to “community” to “town/city”. Thirty-two images were arranged in nine sets of questions covering the categories as follows:

The Countryside/Rural context involved two questions addressing:

- Scenic rural roads
- Countryside roads

The Community context involved five questions addressing:

- Four-Way intersections
- Retail and commercial development
- Residential development
- Multi-family apartments
- Stormwater facilities

The Town/City context involved two questions addressing:

- Town Center
- Infill development near the square in Brownsville

The Vision Survey was presented at the Haywood County Work Session conducted on August 2, 2022. The survey methodology for each visual question utilized a series of two to four images that were presented using Slido software accessible from smart phones or tablets and simultaneously presented on large screens in the room. This methodology allows a multiple-choice question scenario where a respondent could answer the question by selecting one of the images or “None”.

For each question, the set of images was carefully selected to present a range of choices including existing conditions in Haywood County as well as images of alternative solutions and precedents from other locations. Respondents were asked to choose the image which best represents their vision or select “none”. The images were presented and voted on by 86 to 89 respondents, followed by a short discussion of comments and questions from the audience. A summary of survey results and findings follows.



©2022 LRK Inc. All Rights Reserved

**SHARE YOUR  
THOUGHTS  
WITH US**





**Countryside/Rural Context Questions**

The rural and countryside roads that run throughout much of Haywood County allow citizens to see and experience views and vistas that contribute to a strong sense of place that is highly cherished by the community. The results of these questions in the Community Vision Survey demonstrate that the proper design and dimensions of the road itself, combined with vegetation, screening, fencing and other the edge conditions, can enhance the "scenic" and "countryside" qualities that are highly valued by citizens.



Preferred image for Scenic Rural Roads - One respondent described this image as being "the best paved road" and having "sense of rural character."



Preferred image for Countryside Roads - Respondents desired the screening of future development along corridors.



**Countryside Roads**

Community Vision Survey Respondents overwhelmingly selected Image B showing a two-lane road lined with mature trees and vegetation. Survey respondents were told to assume that there was development located behind the green road edge and screened from view. Image A, showing homes lining, but lacking a landscaped edge that provides any screening, was selected by 13% of respondents.



COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22037.00 | 08.18.2022



**Scenic Rural Roads**

Three-quarters of Community Vision Survey respondents selected Image A. This rural road has a narrow width roadway that is not overly wide for its function. The edges of the road, lined by a mix of vegetation, trees, and pasture fencing, enhance the scenic rural character. Images B and D were least selected by survey respondents, perhaps because the roadways have been widened with paved shoulders and lack road edge treatment that enhances the scenic rural character.



None 0%

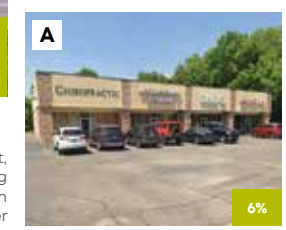
COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22037.00 | 08.18.2022

COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22037.00 | 08.18.2022



**Four-Ways**

More than half of Community Vision Survey respondents selected Image D. In the words of one respondent, this image shows a "sophisticated, more up to date" vision for a four-way than the typical free-standing buildings shown in Images B and C. It is worth noting that the more traditional pattern and character shown in Images B and C was selected by more than one-third of respondents. Image A, which shows a strip center with box-like form, was the least preferred image, selected by only 6% of respondents.



None 4%

COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22037.00 | 08.18.2022

**Community Context Questions**

A portion of the growth anticipated in Haywood County is likely to occur in community areas adjacent or near existing communities and development. These questions in the Community Vision Survey were designed to determine the forms and characteristics of four-way intersections, retail and commercial development, residential development, and multi-family apartments that citizens would consider to be appropriate for Haywood County. Survey results indicate that respondents are looking for forms and characteristics of development that may be different from what has been typically developed locally or regionally in the recent past.



Preferred image for Retail and Commercial Development - One respondent commented that the image "seemed like home."



Preferred image for Multifamily Apartments - One respondent noted that the "greenery and walking space made you want to get out and walk."



Preferred image for Four-Ways - One respondent expressed desire for sophisticated, up-to-date and articulated architecture that feels like a "new day in Haywood."



**Retail and Commercial Development**

More than half of Community Vision Survey respondents selected Image A which, in the words one respondent, "feels like home", and approximately one-third selected Image D. Images A and D represent a retail and commercial character that is not typical of neighborhood centers or strip plazas. Distinguishing features include distinctive massing and rooflines, rich landscaping, and the inclusion of streetscape elements. As with the previous Four-Way question, Image C, which shows a strip center with box-like form, was the least preferred image, selected by only 6% of respondents.

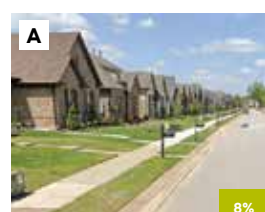
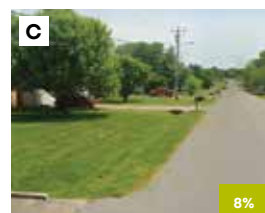


None 1%



**Residential Development**

The streetscape in a residential neighborhood is the part of a community where people experience much of their community life. 83% of Community Vision Survey respondents selected Images B and D. These images show residential streetscapes with similar qualities including ample front yard landscaping and a well-defined sidewalk separated from the street by a wide planting strip containing shade trees and pedestrian-scale streetlamps. The homes lining the streetscape incorporate a variety of architectural forms, massing, and styles including front porches, resulting in a "pedestrian-friendly" neighborhood experience for families and a safe walking route for children and senior citizens.



None 0%



**Stormwater Facilities**

Future development of buildings and paved areas will necessitate facilities to manage stormwater run-off to minimize impacts to the environment throughout Haywood County. The design of stormwater facilities can range from minimal treatment as depressed grassed areas to re-thinking the water basin as an amenity that creates a focal point for activity, views, and value such as Image D, which was selected by majority of respondents.



None 0%



**Multi-family Apartments**

During the Community Listening Sessions, citizens expressed a need for multi-family apartments to serve both existing residents and the expected influx of new residents to Haywood County. Community Vision Survey respondents overwhelmingly selected Images A and D which collectively, illustrate a vision for the design of well-detailed buildings composed of articulated massing with projections, recesses, and gables. During the Community Workshop, one respondent commented that the greenery and walkway space in Image A, "makes you want to get out and walk". Another respondent noted that Image D, "looks more like a home", in part because of the garage.



None 0%

LRK COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22.2037.00 | 08.18.2022

Haywood County Tennessee  
Brownsville



**Town Center**

Several areas in Haywood County may emerge as town centers which may also evolve from the central areas of a neighborhood or district within a community. In the Community Vision Survey, 9 out of 10 respondents selected Images A, C, and D which all depict taller buildings heights with varied rooflines, and a mix of massing in comparison with the more box-like building in Image B. The images also depict a level of quality investment in the public realm in terms of landscape and streetscape design elements.



None 2%

LRK COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22.2037.00 | 08.18.2022

Haywood County Tennessee  
Brownsville

**Town and City Context Questions**

Over the course of the Community Listening Sessions conducted for this project, many participating citizens have indicated that they would like to see future growth in Haywood County directed in and around Brownsville and Stanton. These questions in the Community Vision Survey were designed to determine the forms and characteristics for development that would be appropriate near the center of a town or city. Survey results indicate that respondents prefer a range of town center and infill development that can take a variety of forms, scale, and styles.



Preferred image for Town Center



Preferred image for Infill Development Near the Square in Brownsville - One respondent noted that the image was "complimentary to what the center looks like."

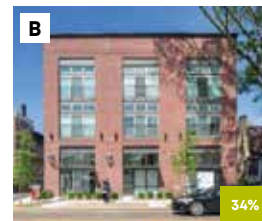
LRK COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22.2037.00 | 08.18.2022

Haywood County Tennessee  
Brownsville



**Infill Development Near the Square in Brownsville**

Respondents can envision a variety of forms, scale, and styles for infill development near the square which is evidenced by an almost even split in preferences among the three images. In the follow-up discussion, approximately half of attendees at the Community Workshop could envision different places for different types of infill development. Respondents provided insights into each of the images: Image A was favored by respondents who liked how its scale was "complimentary to what the center already looks like"; Image B evoked the "historical integrity of the small town feel"; and Image C represented "modernity and an opportunity for a new generation to stay".



None 0%

LRK COMMUNITY VISION SURVEY  
Interim Development & Design Guidelines  
Haywood County, TN | 01.22.2037.00 | 08.18.2022

Haywood County Tennessee  
Brownsville

